



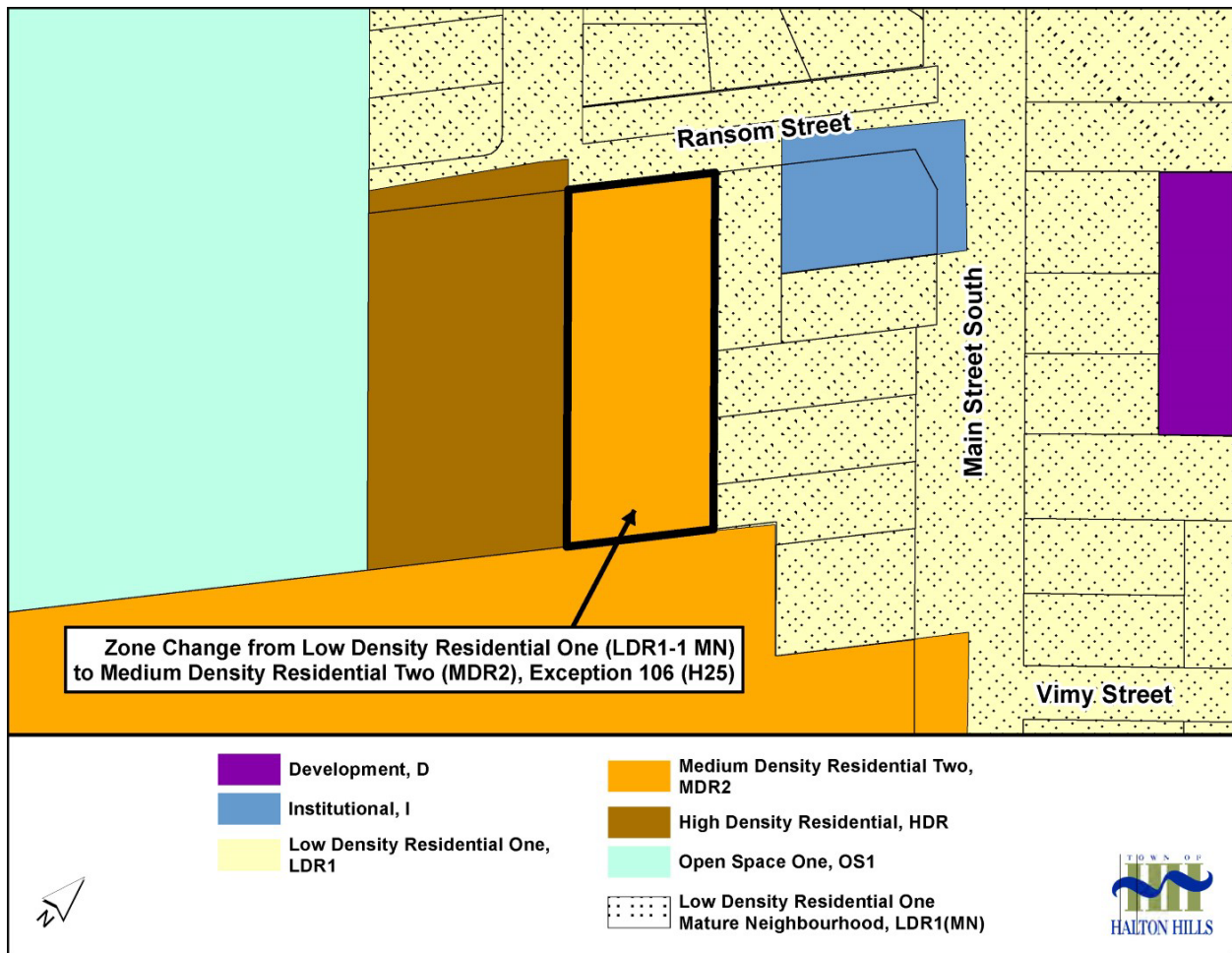
**BY-LAW NO. 2022-0073**

A By-law to Amend Zoning By-law 2010-0050, as amended,  
Lot 15 and Part of Lot 16, Registered Plan 53,  
Town of Halton Hills, Regional Municipality of Halton,  
municipally known as 20 Ransom Street (Acton), lands described  
as All of Lot 15 and Part of Lot 16, Registered Plan 53,  
Town of Halton Hills, Regional Municipality of Halton  
20 Ransom Street (Acton)

1. That Schedule "A6" of Zoning By-law 2010-0050, as amended, is hereby further amended by rezoning the lands described as All of Lot 15 and Part of Lot 16, Registered PLAN 53, Town of Halton Hills, Regional Municipality of Halton, municipally known as 20 Ransom Street (Acton) from Low Density Residential One Mature Neighbourhood (LDR1-2(MN)) Zone to the Medium Density Residential Two (MDR2-106)(H25) Zone as shown on Schedule "1" attached to and forming part of this By-law.
2. That Table 13.1: Exceptions and Table 14.1: Holding Provisions are hereby amended by adding the Exception Provisions and Holding Provisions contained in Schedule "2" and "3" attached to and forming part of this By-law.

**By-law approved by Ontario Land Tribunal Order/Decision (OLT-22-002179) issued on April 6, 2022.**

**SCHEDULE 1 to By-law 2022-0073**



**SCHEDULE 2 to By-law 2022-0073**

**13.1 EXCEPTIONS**

1	2	3	4	5	6	7
Exception Number	Zone	Municipal Address	Additional Permitted Uses	Only Permitted Uses	Uses Prohibited	Special Provisions
106 By-law No. 2022- 0073 (OLT-22- 002179)	MDR2 (106)	20 Ransom Street (Acton)		(i) Maximum of 9 Townhouse Dwelling Units accessed by a private road; (ii) Home Occupations subject to the provisions in Section 4.12 and subject to Special Provision (6) and (7) of Table 6.1 in By-law 2010-0050; (iii) Private Home Day cares		(i) For the purposes of this zone Townhouse Dwelling Unit means a multiple dwelling unit in a townhouse building, with each unit have direct access to a private road; (ii) Maximum height – 10.5 metres and 2 storeys; (iii) Minimum required garage setback to a private road – 6 metres; (iv) Minimum required Interior Side Yard Setback – 7.5 metres; (v) Minimum Required Rear Yard Setback – 1.4 metres; (vi) Minimum Required Front Yard Setback – 3.3 metres (vii) Porches, decks and/or stairs may encroach into a front or interior side yard no more than 3 metres; (viii) Features including but not limited to, eaves or gutters, chimney breasts, pilasters and roof overhangs may encroach into a front, rear or interior side yard no more than 1 metre; (ix) Minimum required width of an aisle providing access to a parking space – 6.4 metres; (x) Maximum private road width – 6.0 metres; (xi) Parking areas shall be setback a minimum of 1.0 metre from any building or structure; (xii) Second storey decks and balconies are prohibited; (xiii) Minimum of 9 visitor parking spaces; (xiv) For the purpose of this site-specific zone, the exterior limits of the zone

						boundary shall be deemed to be one lot for the purpose of applying zone provisions. Zoning provisions shall not apply to any interior boundaries created as a result of a Common Element Condominium.
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## SCHEDULE 3 to By-law 2022-0073

### 14.1 HOLDING ZONES

	Zone Designation	Property/Legal Description	Conditions for Removal	Date Enacted
H25	MDR2(106)	20 Ransom Street (Acton), Part of Lots 15 and 16, Registered Plan 53	<p>The Holding (H25) provision may be lifted upon:</p> <ul style="list-style-type: none"><li>i. The Town of Halton Hills and the Region of Halton being satisfied that the subject site has received the necessary servicing allocation (SDE).</li><li>ii. The Town of Halton Hills being satisfied that access to any private amenity space for yard maintenance purposes for each townhouse units is secured without passing through habitable space for the units through Site Plan Control approval.</li></ul>	April 6, 2022 By-law No. 2022-0073 (OLT-22-002179)