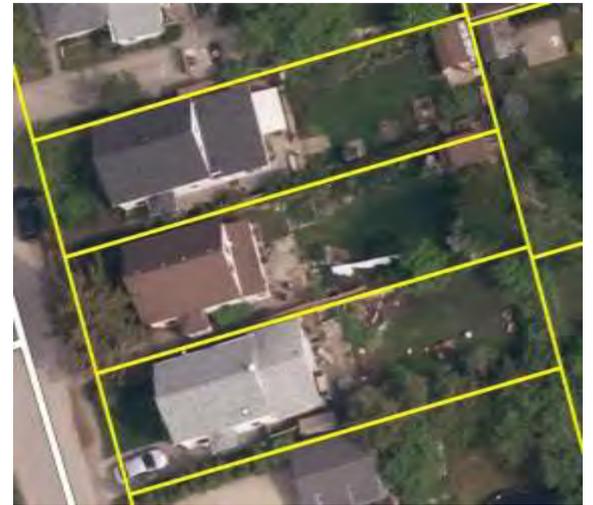


LOT COVERAGE

The lot coverage for the mature neighborhoods of Georgetown and Acton is now 35-40%



Low lot coverage
Approx. 10% coverage



High lot coverage
Approx. 20% coverage

WHAT ARE THESE REGULATIONS?

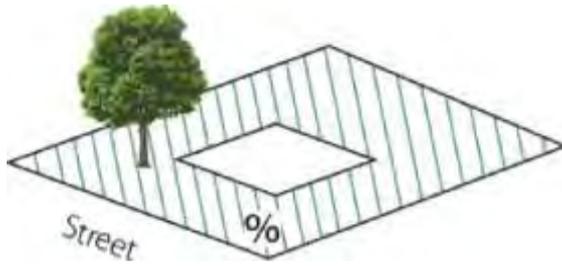
- That percentage of the lot covered by all buildings.
- Amount of building on a lot divided by the amount of space around the buildings.
- There are currently no controls on lot coverage in the Glen.

QUESTIONS

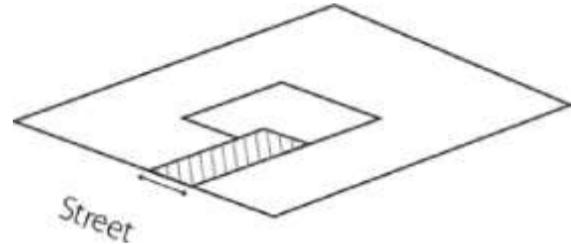
1. Should a lot coverage restriction be introduced into the Zoning By-law?
2. If so, how much lot coverage would be appropriate?

COMMENTS

SOFT LANDSCAPED AREA & DRIVEWAY



Soft Landscaped Coverage
Soft Landscaped Area ---, Lot Area



Driveway

WHAT ARE THESE REGULATIONS?

Soft Landscaped Area includes any combination of flowers, grass, shrubs, sod, trees or other horticultural elements that is not covered by architectural elements including but not limited to asphalt, buildings, brickwork, concrete, stonework or structures.

Driveway is a defined area providing access for motor vehicles from a public or private street or a lane to facilities such as a parking area, parking lot, loading space, private garage, carport, building or structure.

QUESTIONS

1. Should soft landscaped area controls be introduced?
2. How much of a lot should be driveway and how much should be soft landscaping?

COMMENTS

GARAGE



WHAT ARE THESE REGULATIONS?

Garage is a fully enclosed building designed and used for the storage of one or more motor vehicles.

QUESTIONS

1. Should garages be attached or detached?
2. What is the most appropriate position for a garage? In front of? Parallel to? Slightly set back? Behind the house? Detached and set back towards the rear of the lot?
3. Should a regulation be enforced to control the position of garage?

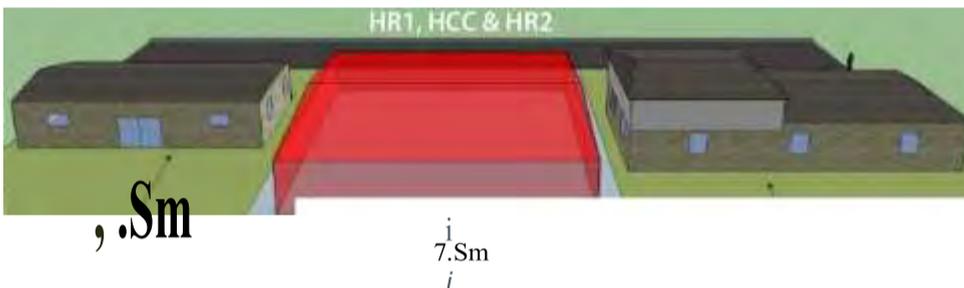
COMMENTS

FRONT & REAR YARD SETBACKS

FRONT YARD SETBACK



REAR YARD SETBACK



ZONING BY-LAW

HR1 & HCC

Min. required front yard	7.5m
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Min. required rear yard	7.5m
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HR2

Min. required front yard	4.5m
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Min. required rear yard	7.5m
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WHAT ARE THESE REGULATIONS?

Front Yard setback means the space and distance between the front of the house and the front property line

Rear Yard setback means the space between the rear property line and the back of the house.

QUESTIONS

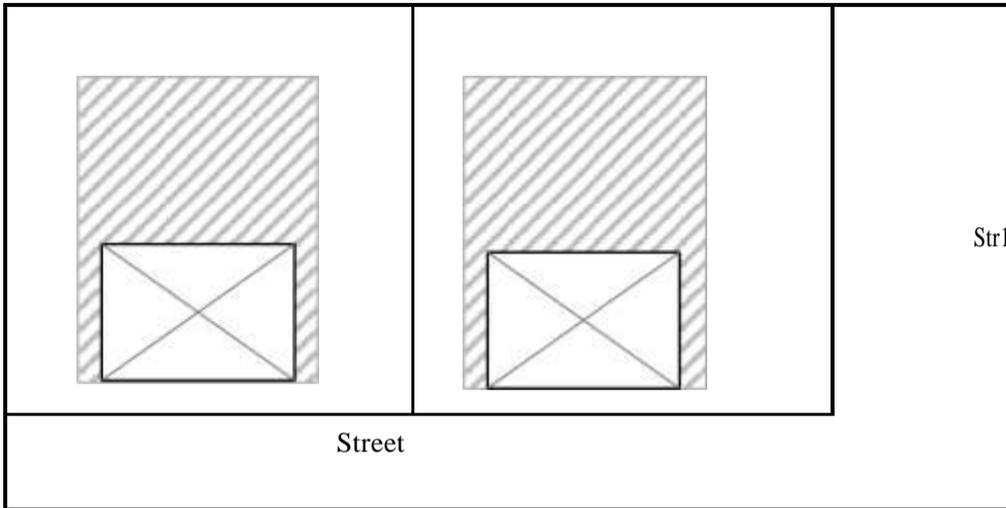
1. Are the existing setbacks appropriate?
2. Should they be increased/decreased? If so, by how much?
3. Should front yard setbacks be consistent or should there be variety within the streetscape?

COMMENTS

SIDE YARD SETBACKS

Required interior side yard

Required exterior side yard



ZONING BY-LAW

HR1& HCC

Min. req. interior side yard	2.25 m
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Min. req. exterior side yard	4.5m
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HR2

Min. req. interior side yard	4.5m
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Min. req. exterior side yard	7.5m
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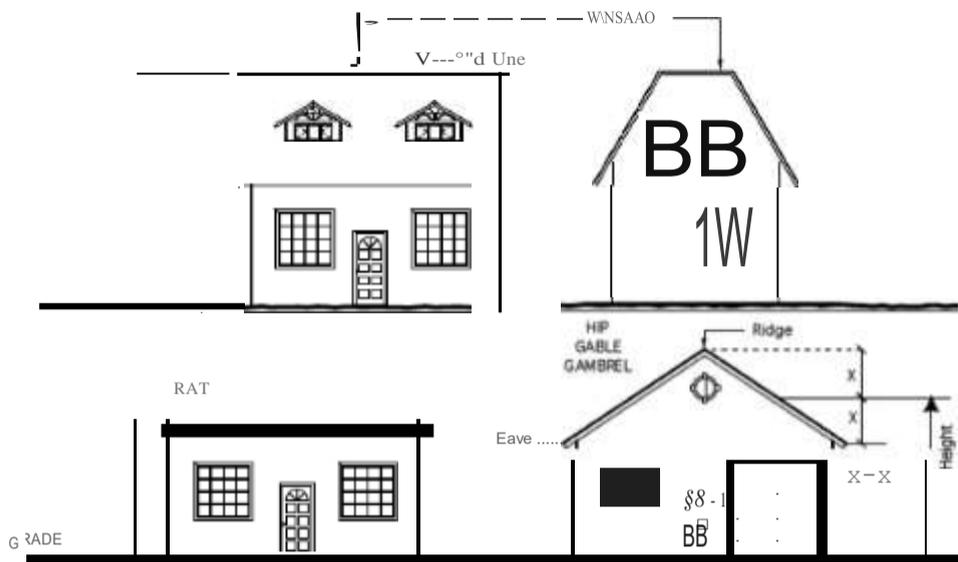
WHAT ARE THESE REGULATIONS?

A Side Yard setback is the space between the side property line and the house.

QUESTIONS

1. Are the existing setbacks appropriate? Should they be increased/decreased? By how much?
2. How far should houses be from each other?
3. Should the size of the side yard be dependent on the height of the house (i.e. larger side yard setbacks for taller houses and smaller setbacks for smaller houses?)

BUILDING HEIGHT



Approx. 7.5m
in height
to the
mid-point
of the roof



Approx.
10.5 min
height to the
mid-point of
the roof



MAX. HEIGHT FOR HR1, HR2 & HCC: 11 m

WHAT ARE THESE REGULATIONS?

With reference to a building or structure, the vertical distance measured from the established grade of such building or structure to:

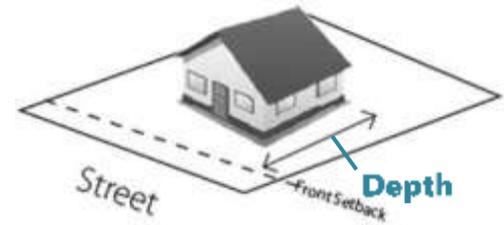
- The highest point of the roof surface or the parapet, whichever is the greater, of a flat roof;
- The decline of a mansard roof;
- The mean level between eaves and ridge of a gabled, hip or gambrel roof or other type of pitched roof;
- In case of a structure with no roof, the highest point of the said structure.

QUESTIONS

1. What maximum height is appropriate in Glen Williams?
2. Should greater side yard setbacks be required for taller buildings?
3. Should the length of taller buildings be limited?

COMMENTS

BUILDING DEPTH



WHAT ARE THESE REGULATIONS?

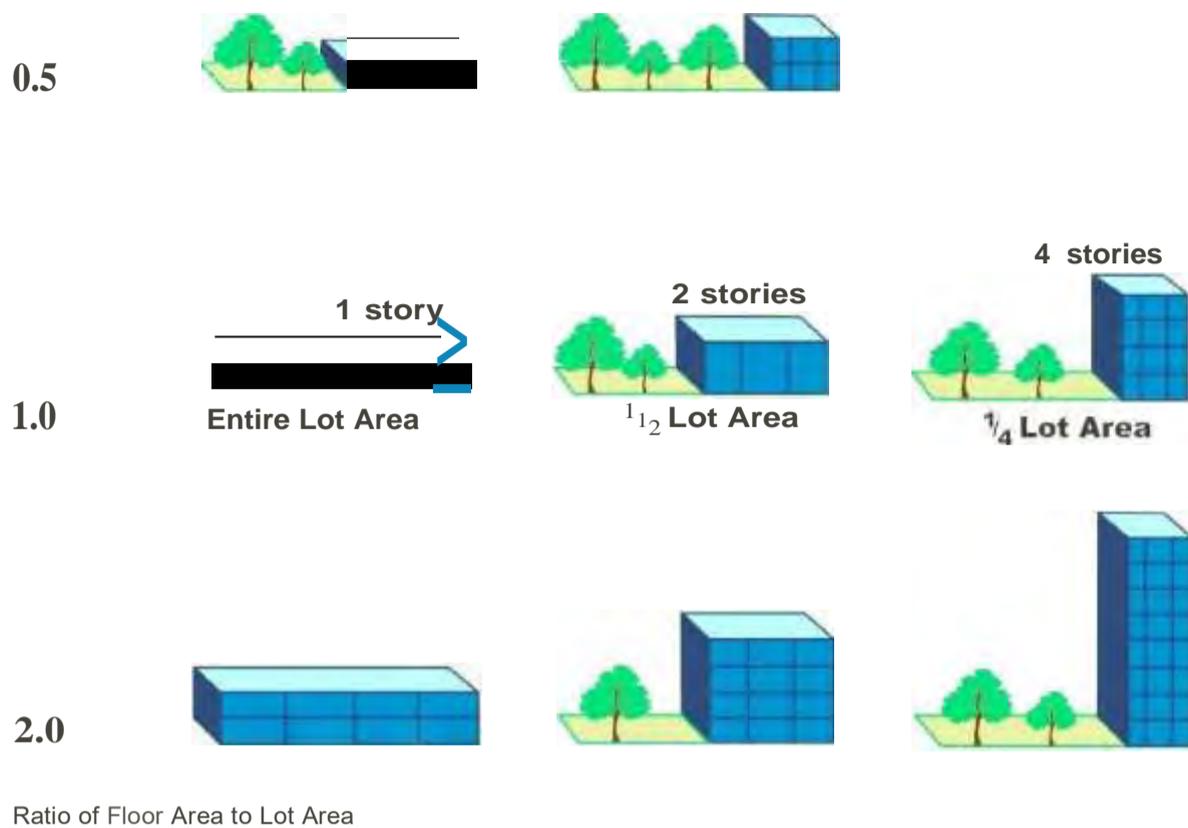
Building depth is the distance between the required front yard setback and the rear wall of a building.

QUESTIONS

1. How long should houses be?
2. Should the depth of buildings be controlled?
3. Should there be a relationship between the depth of a house and its height (e.g. deeper houses should be shorter)
4. Should deeper houses have wider side yard setbacks?

COMMENTS

FLOOR SPACE INDEX (FSI)



WHAT ARE THESE REGULATIONS AND HOW DO THEY WORK?

Floor Space Index (FSI) means the gross floor area of all buildings on a lot divided by the lot area.

The City of Mississauga regulates FSI in Neighbourhood Character Areas. FSI can be used to control the total volume of a building.

QUESTIONS

1. Should FSI be controlled in Glen Williams?

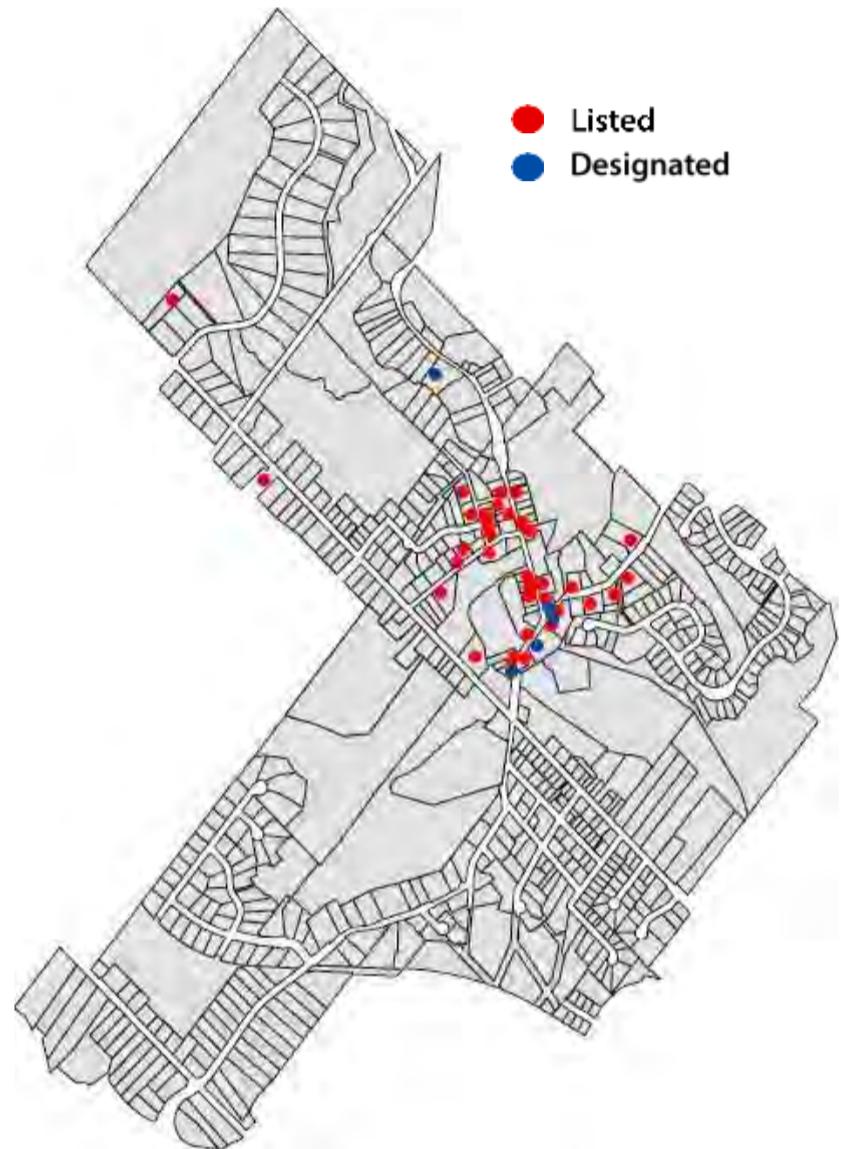
COMMENTS

ONTARIO HERITAGE ACT

WHAT ARE THESE REGULATIONS AND HOW DO THEY WORK?

- Under the Ontario Heritage Act, the Town of Halton Hills maintains a register of listed and designated properties in the Town.
- 36 properties in Glen Williams are included on the Town's Heritage Register.
- Only 6 properties are designated
- Listed properties - owners must provide a municipality with at least 60 days' notice of intention to demolish, which allows a municipality to consider conservation options.
- Designated properties may be designated individually or collectively within a Heritage Conservation District (HCD).
- Designated properties require heritage permits for any alteration or removal of the heritage features of the property.

*Note all registered heritage buildings are located in the north of Glen Williams



QUESTIONS

1. Should further controls (eg. Heritage Conservation District) be explored?

COMMENTS

TREE PROTECTION



WHAT ARE THESE REGULATIONS AND HOW DO THEY WORK?

- Tree protection by-laws require municipal issued permits for the removal of trees on private property.
- The permitting process requires applicants to provide an arborist report and municipal staff to review the applications.

QUESTIONS

1. Would you like to see more controls enforced?
2. If so, what kind of controls would you like to see put in place?

COMMENTS