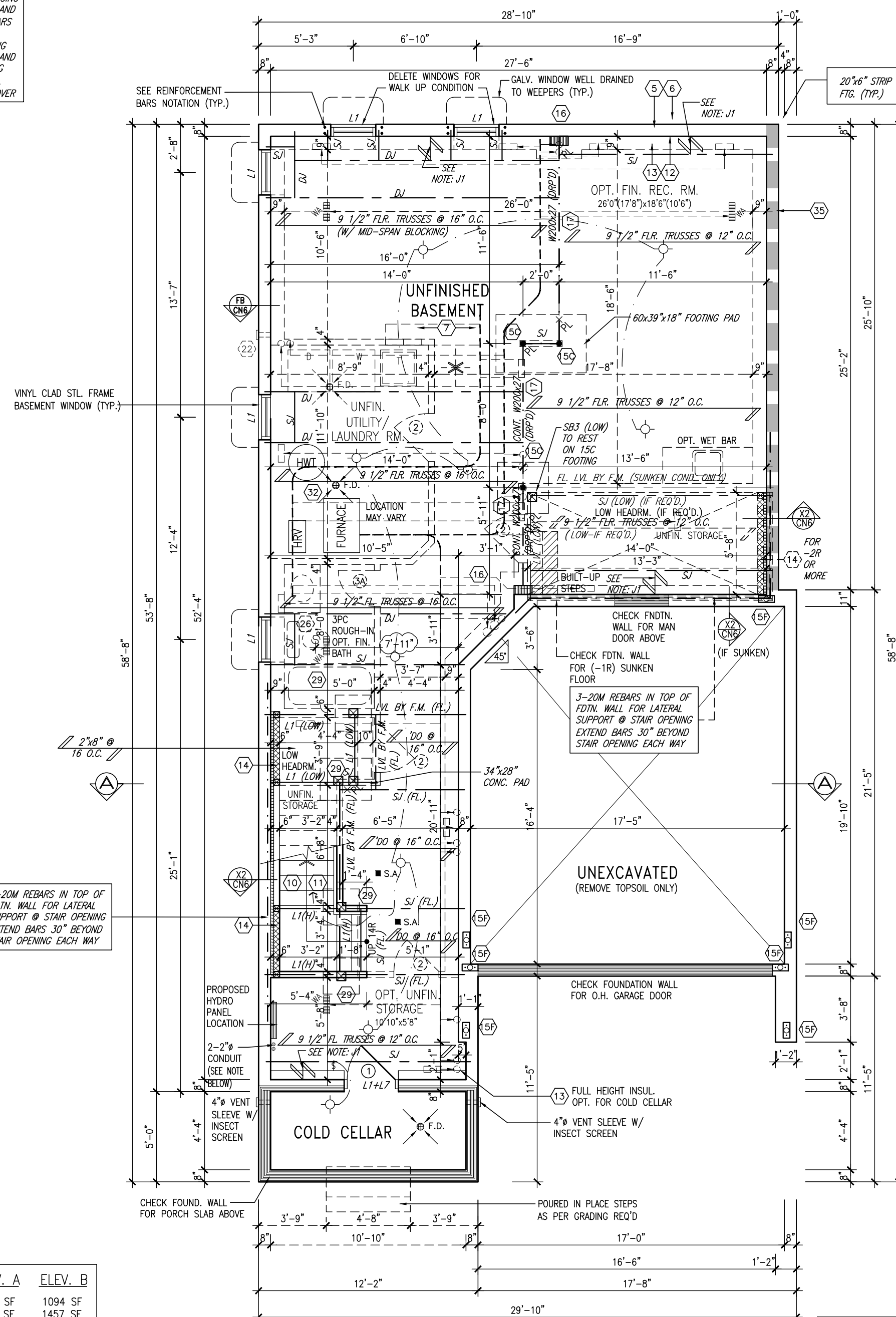


NOTE : REINFORCEMENT BARS
 PROVIDE 2-15M HORIZONTAL REINFORCING EACH SIDE FACE OF FOUNDATION WALL AND 1" BELOW WINDOW OPENING, EXTEND BARS 12" BEYOND OPENING EACH WAY
 PROVIDE 2-15M VERTICAL REINFORCING EACH SIDE FACE OF FOUNDATION WALL AND WINDOW OPENING FROM TOP OF FOOTING TO 2" BELOW TOP OF FOUNDATION WALL
 BARS TO HAVE MIN. 2" CONCRETE COVER

NOTE J1 : PROVIDE SOLID
BLOCKING AT 24" O/C AT JOIST
SPACE ADJACENT TO FDTN. WALL
WHERE FLOOR JOISTS RUN
PARALLEL TO FDTN. WALL (TYP.)



OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-FX-NOTF-2020-0

NOTE: PORCH POSTS
BUILT-UP PORCH POSTS SHALL BE SEPARATED
FROM THE CONC. SLAB W/ 0.05 MIL POLY OR
TYPE 'S' ROLL ROOFING.

NOTE: 2-2" DIA. PVC CONDUIT
FOR FUTURE SOLAR ROUGH-IN

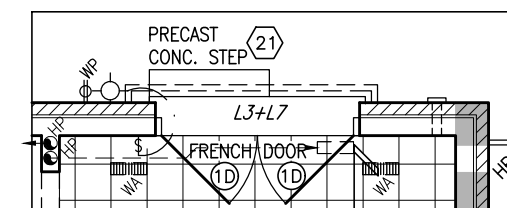
SOIL TO HAVE MIN. 150 kPa BEARING CAPACITY

NOTE:
FLOOR FRAMING INFO. REFER TO FLOOR TRUSS
MANUF. SHOP DRAWINGS FOR ALL TRUSS-JOIST
INFORMATION & DETAILS UNLESS OTHERWISE NOTED

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO
BE SPECIFIED BY THE FLOOR TRUSS MANUF.

NOTE: FW
2"x6" @ 16" O.C. STUD MECHANICAL WALL
3/8" ASPENITE SHEATHING
2"x6" @ 16" O.C. STUDS W/ MIN. R24 INSULATION
1/2" DRYMALL FINISH TAPED & SEALED GASPROOF

FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" WEATHER
PROOFED O.S.B. & TO BE GLUED & NAILED



10'-0" GROUND
FLR. REAR DOOR

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NOTE FOR OPT 10'-0" MAIN FLOOR CEILING:

- ALL INTERIOR DOOR TO GROUND FLOOR
- APPROX. 8'0" TALL (EXCLUDING THE DOOR FROM THE GARAGE OR ANY OTHER DOOR THAT MAY NOT BE POSSIBLE DUE TO SITE CONDITIONS).
- ALL ARCHWAYS ON MAIN FLOOR TO BE RAISED TO MATCH APPROX. 8'0" TALL DOORS.
- ALL WINDOWS ON MAIN FLOOR TO HAVE TRANSOM ABOVE.
- MAIN ENTRY DOOR AND DOOR TO BACKYARD WILL BE APPROX. 8'0" TALL. (PLEASE NOTE: IF REAR DOOR IS A SLIDING DOOR, IT WILL BE UPGRADED TO FRENCH DOOR).
- APPROX. 8'0" TALL REAR HEAD GARAGE DOOR WILL BE.
- BASEMENT DOOR GROUND FLOOR SHOULD BE STANDARD SIZE.

9	-	-	-
8	-	-	-
7	-	-	-
6	ADD DIMENSION TO 3-PC ROUGH-IN TOILET DRAIN	JUNE 18/24	TF
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23	NS
4	ISSUED FOR PERMIT	APR.19/23	SF
3	ISSUED FOR PERMIT	MAR.14/23	JN
2	ISSUED FOR CLIENT REVIEW	FEB. 10/22	NH
1	ISSUED FOR CLIENT REVIEW	AUG. 13/21	TF
no	description	date	h

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FIELDGATE HOMES

project name	MIL CON THREE
municipality	MILTON, ONTARIO

unit name	project n
THE GRASSLANDS	1403

MC36-5

PCNNT 2. COND. FLD. PLAN

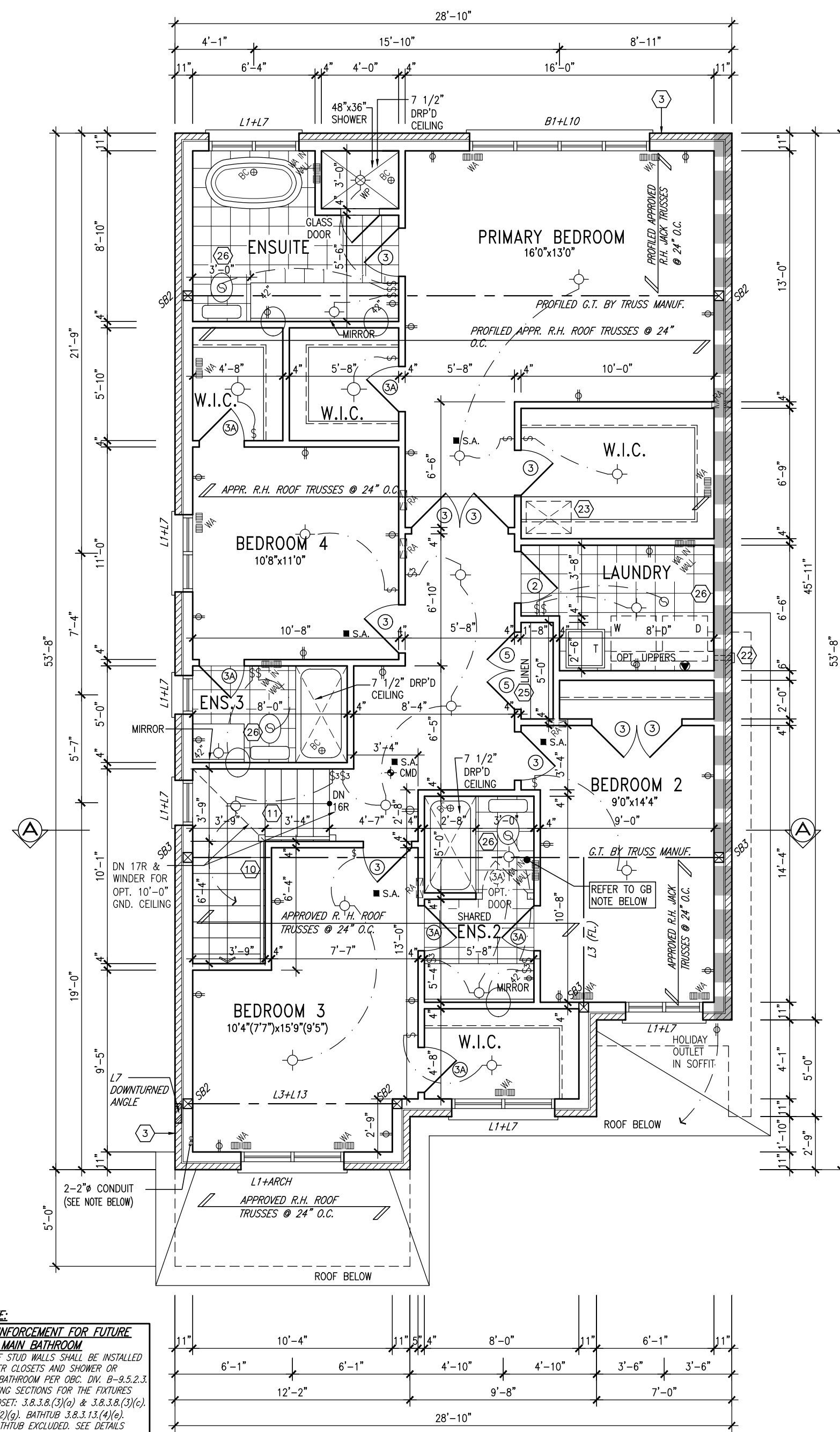
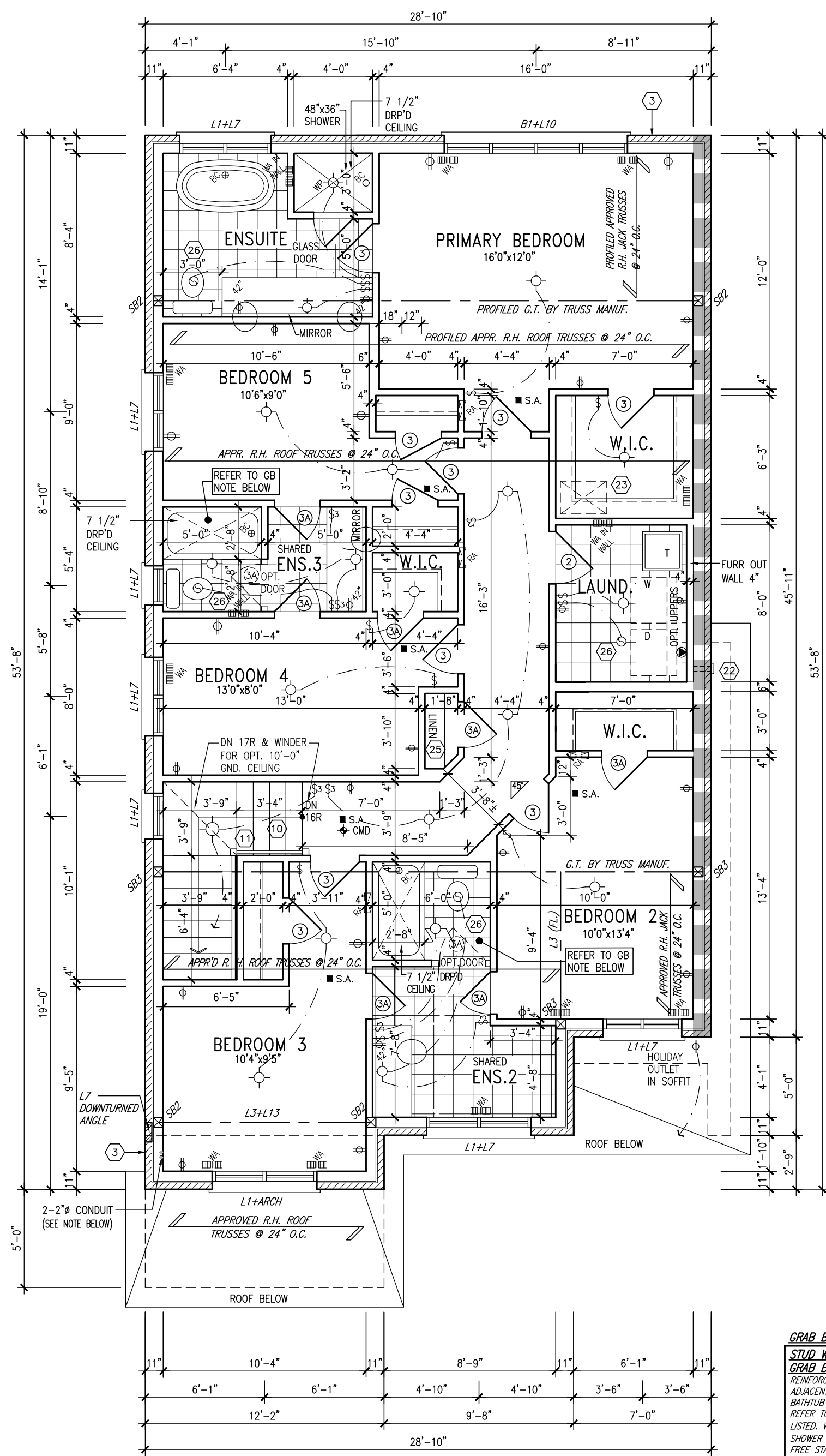
date	scale	drawing no.
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2021-10 3/16 = 1-0-
drawn by checked by
WT/IM

file name	20021 TYPOLOGY-SAMPLE PLANS
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<u>AREA CALCULATIONS</u>	<u>ELEV. A</u>	<u>ELEV. B</u>
GROUND FLOOR AREA	1094 SF	1094 SF
SECOND FLOOR AREA	1467 SF	1457 SF
SUBTOTAL	2561 SF	2551 SF
DEDUCT ALL OPEN AREAS		
TOTAL NET AREA	2561 SF (237.92 m ²)	2551 SF (237.00 m ²)
OPT. FINISHED BSMT AREA	714 SF	714 SF
COVERAGE	1462 SF	1462 SF
W/OUT PORCH	(135.82 m ²)	(135.82 m ²)
COVERAGE	1527 SF	1528 SF
W/ PORCH	(141.86 m ²)	(141.86 m ²)

FOR GEORGETOWN 36' SINGLE (#20021)



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no.	description	date	by
9			
8			
7			
6			
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS	
4	ISSUED FOR PERMIT	APR.19/23 SR	
3	ISSUED FOR PERMIT	MAR.14/23 JM	
2	ISSUED FOR CLIENT REVIEW	FEB. 10/22 NH	
1	ISSUED FOR CLIENT REVIEW	AUG. 13/21TP	

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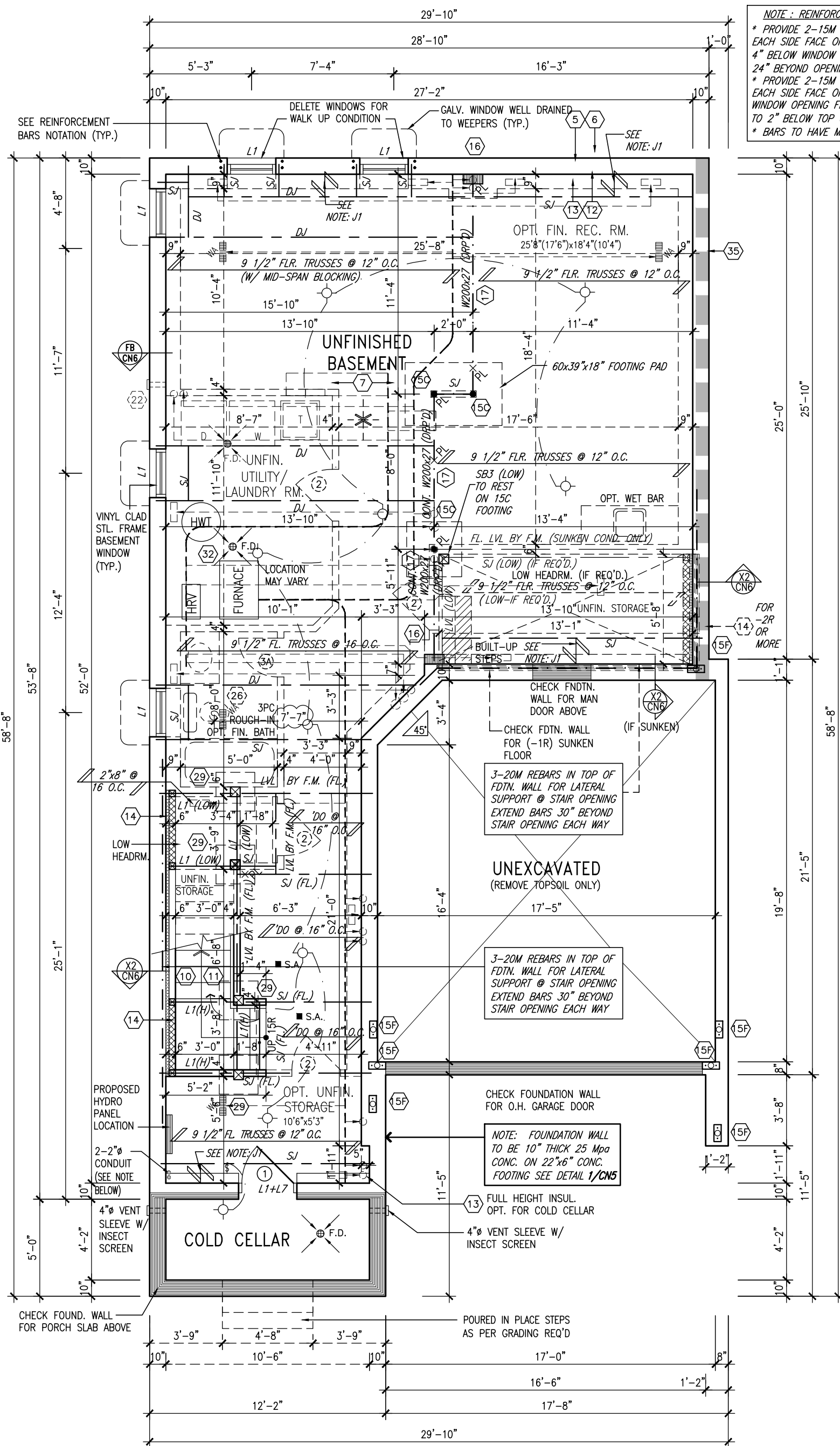
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FIELDGATE HOMES

project name	MIL CON THREE
municipality	MILTON, ONTARIO
unit name	THE GRASSLANDS
unit no.	14032
(FORMERLY SV36-9)	MC36-5
STD. & OPT. SEC. FLR. PLAN 'A'	
date	2021-10
scale	3/16" = 1'-0"
drawing no.	2
drawn by	WT/JM
checked by	
file name	20021_TYPOLOGY-SAMPLE PLANS

FOR GEORGETOWN 36' SINGLE (#20021)



BASEMENT PLAN 'A'
(OPT. 9'-0" POUR)
(OPT. FIN. BASEMENT: 697 SF)

NOTE: FOUNDATION WALL TO BE 10" THICK 25 MPa CONC. ON 22"x6" CONC. FOOTING SEE DETAIL 1/CNS

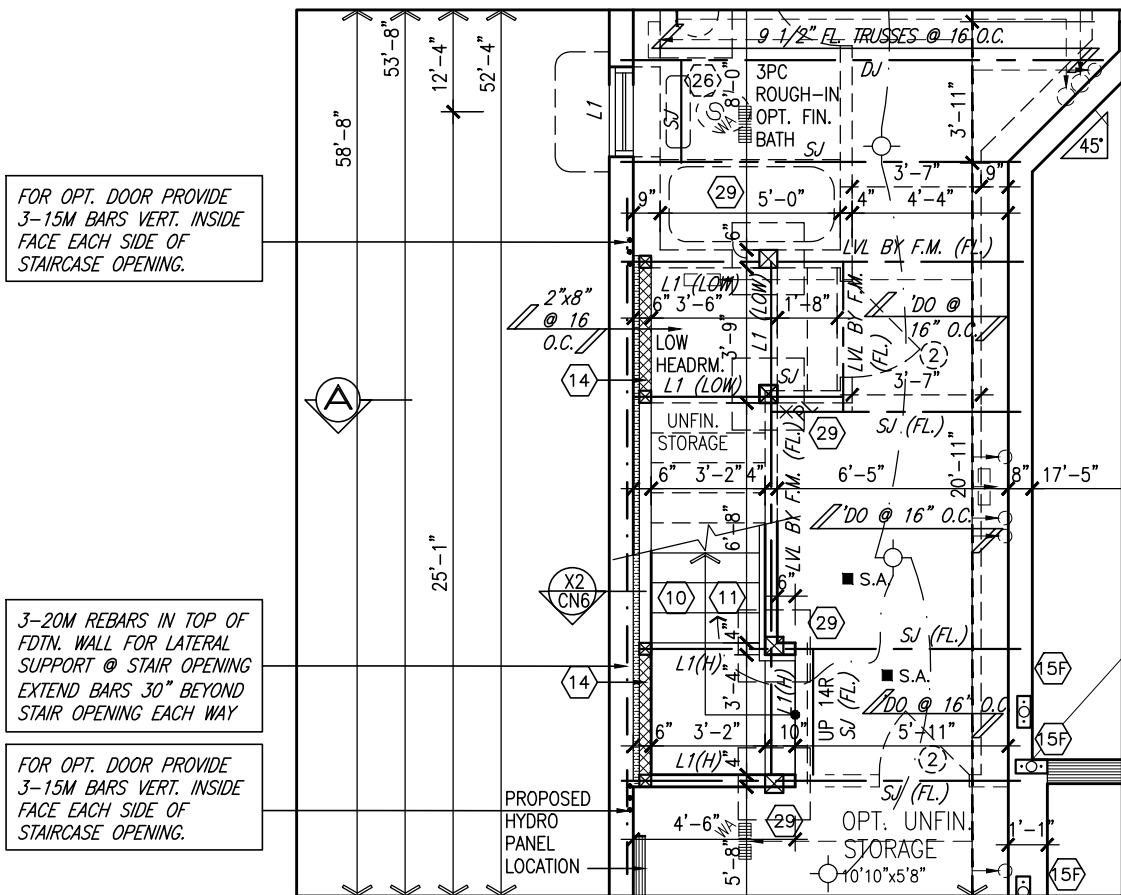
NOTE: 2-2" DIA. PVC CONDUIT FOR FUTURE SOLAR ROUGH-IN

SOIL TO HAVE MIN. 150 kPa BEARING CAPACITY FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6

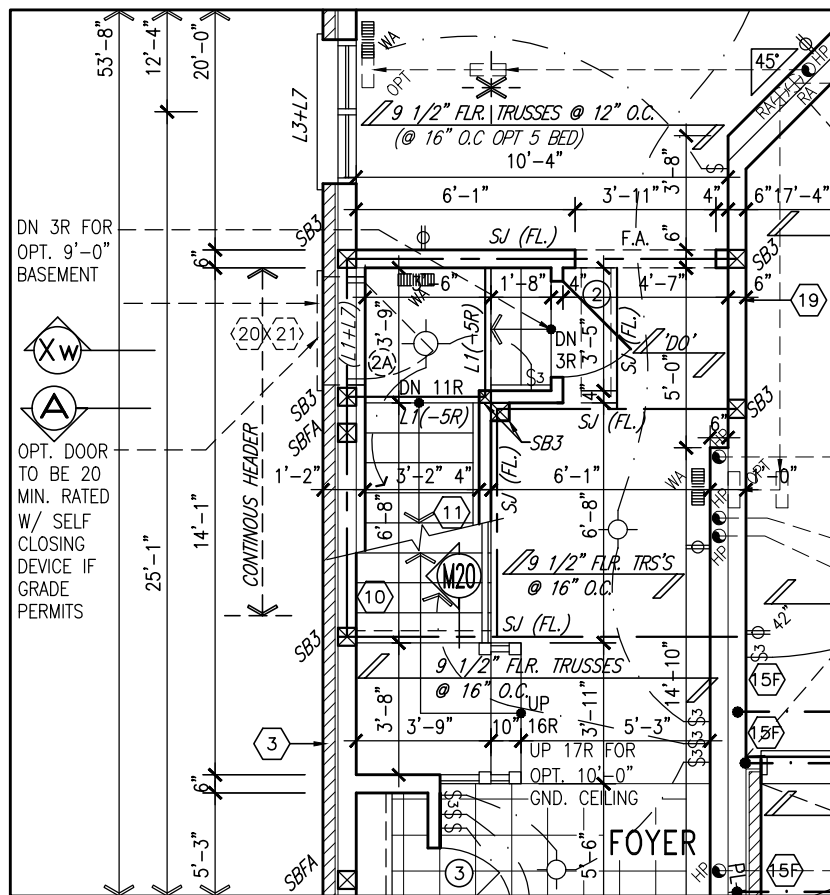
NOTE: FLOOR FRAMING INFO. REFER TO FLOOR TRUSS MANUF. SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION & DETAILS UNLESS OTHERWISE NOTED

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUF.

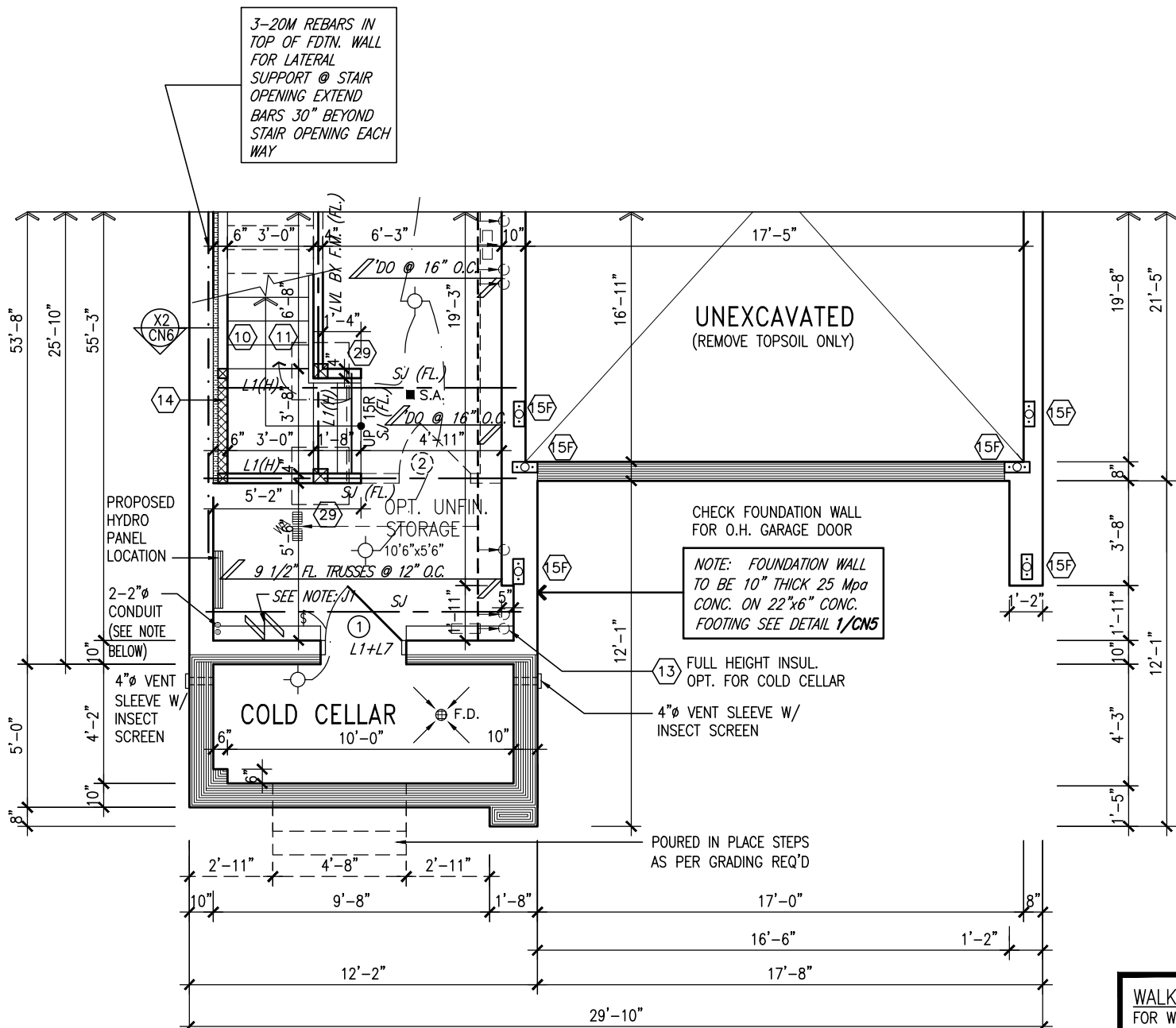
FLOOR SUBFLOORS ALL SUBFLOORS TO BE 3/4" WEATHER PROOFED O.S.B. & TO BE GLUED & NAILED



BASEMENT PLAN W/ MODIFIED SUNKEN LANDING AT OPTIONAL SIDE DOOR (-3R)



GROUND FLOOR PLAN W/ MODIFIED SUNKEN LANDING AT OPTIONAL SIDE DOOR (-3R)



PART. BASEMENT PLAN 'B'
(OPT. 9'-0" POUR)
(OPT. FIN. BASEMENT: 697 SF)

WALK OUT DECK COND. FOR WALK OUT DECK COND. REFER TO DETAILS 2 TO 8 ON PC CN4 FOR CONSTRUCTION OF SIDE & REAR WALLS. -CONSTRUCTION TO BE CONCRETE W/ BRICK CHECK OR STUD WALL W/ BRICK VENEER AS GRADE CONDITIONS REQUIRE. NOTE: SOLID BEARINGS NOTED APPLY TO STUD WALL W/ BRICK VENEER CONDITION.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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9.		
8.		
7.		
6.	ADD DIMENSION TO 3-PC ROUGH-IN TOILET DRAIN	JUNE 18/24TP
5.	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS
4.	ISSUED FOR PERMIT	APR.19/23 SR
3.	ISSUED FOR PERMIT	MAR.14/23 JM
2.	ISSUED FOR CLIENT REVIEW	FEB. 10/22NH
1.	ISSUED FOR CLIENT REVIEW	AUG. 13/21TP
no.	description	date by

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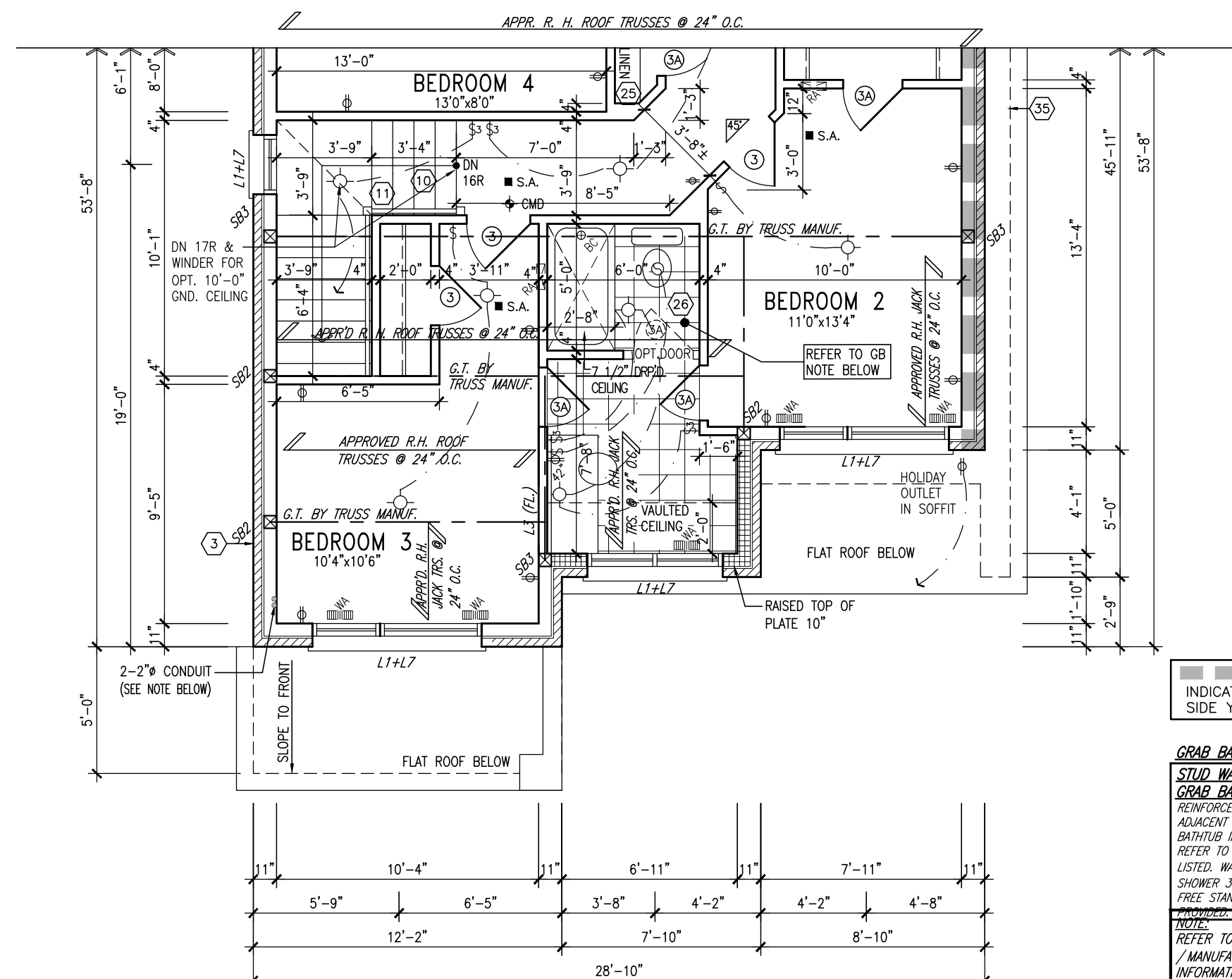
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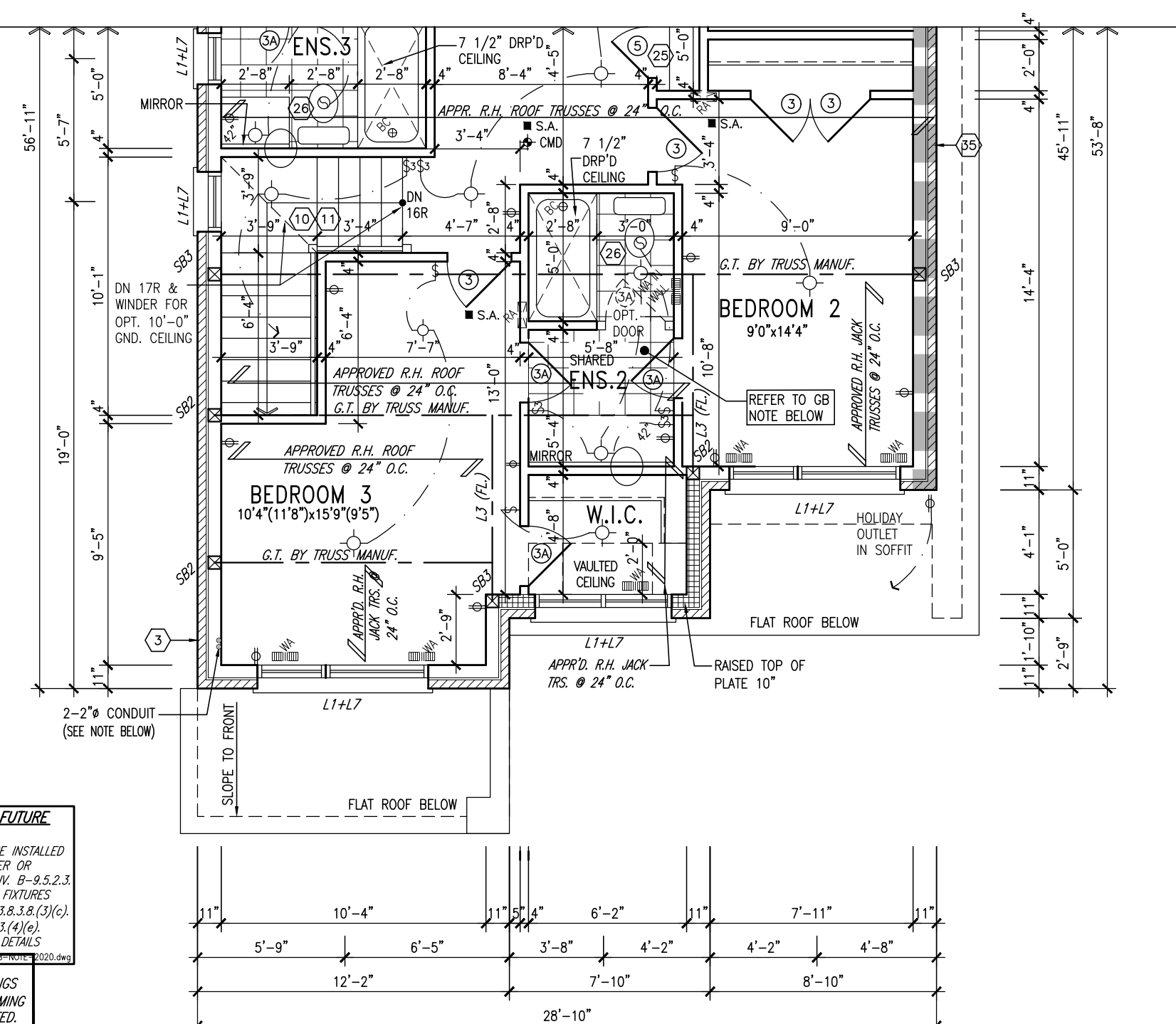
FIELDGATE HOMES

project name	MIL CON THREE
municipality	MILTON, ONTARIO
unit name	THE GRASSLANDS
project no.	14032
unit no.	
(FORMERLY SV36-9)	MC36-5
BASEMENT PLANS 'A'/'B' (OPT. 9' POUR)	
date	2021-10
scale	3/16" = 1'-0"
drawn by	WT/JM
checked by	
file name	
drawing no.	3
2021_TYPOLOGY-SAMPLE PLANS	

FOR GEORGETOWN 36' SINGLE (#20021)



PART. OPT. SECOND FLOOR PLAN 'B'-5 BED



PART. SECOND FLOOR PLAN 'B'

INDICATES REDUCED SIDE YARD CONDITION

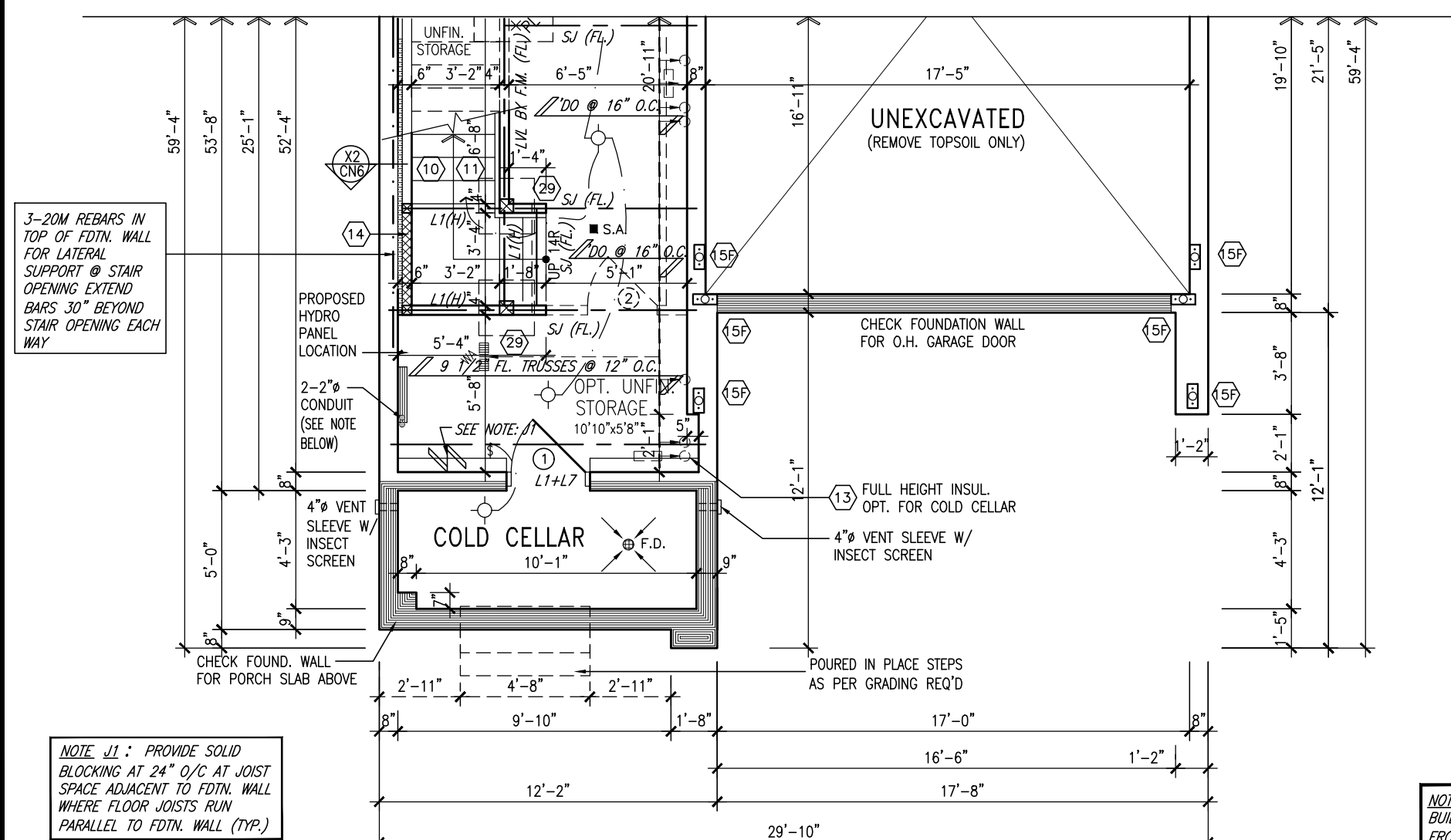
GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8(3)(a) & 3.8.3.8(3)(c); SHOWER: 3.8.3.13(2)(g); BATHTUB: 3.8.3.13(4)(b). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS FOR DETAILS.

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION

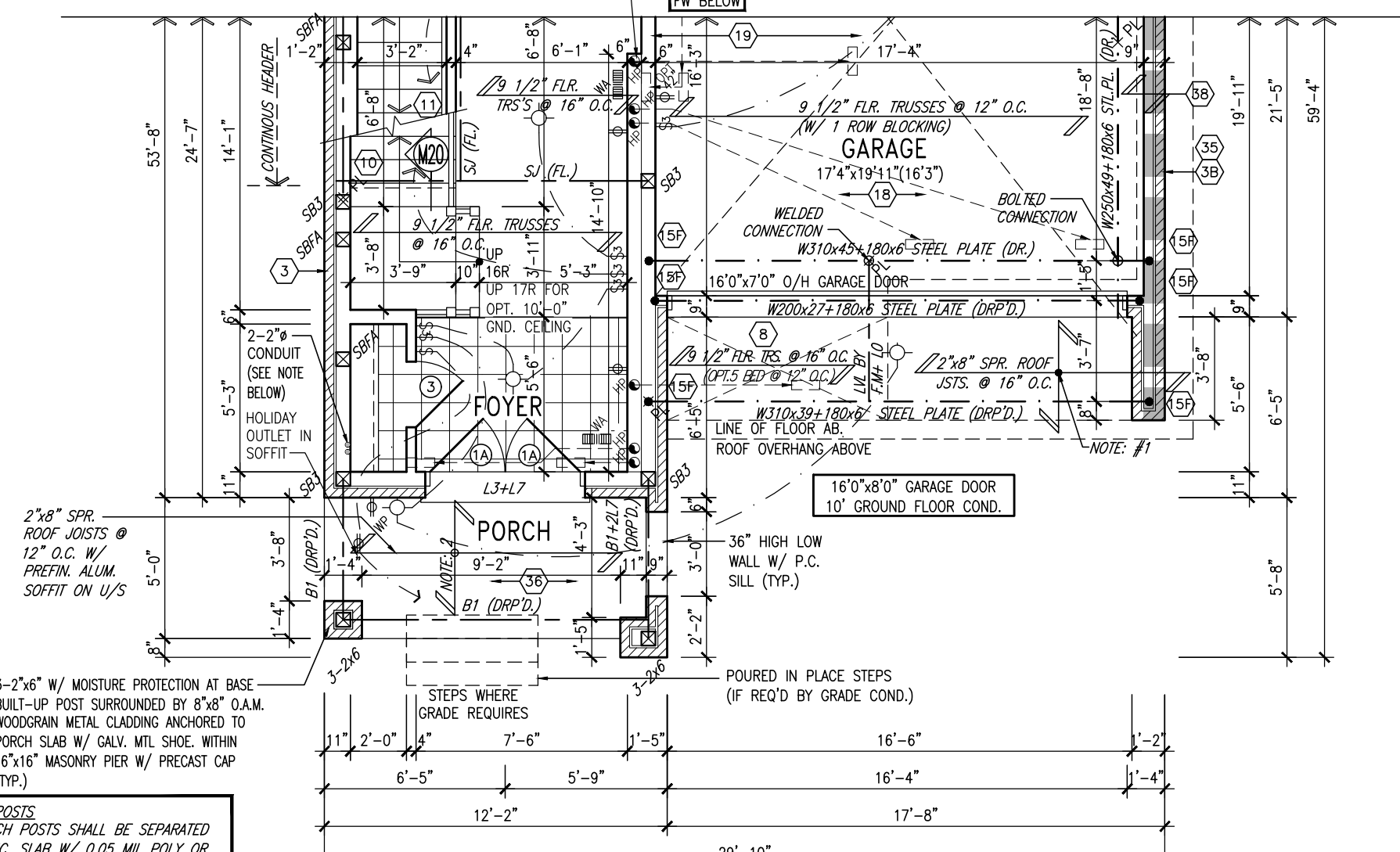
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NOTE FOR OPT. 10'-0" MAIN FLOOR CEILING:
- ALL INTERIOR DOOR ON GROUND FLOOR WILL BE APPROX. 8'0" TALL (EXCLUDING THE DOOR FROM THE GARAGE OR ANY OTHER DOOR THAT MAY NOT BE POSSIBLE DUE TO SITE CONDITIONS.)
- ALL ARCHWAYS ON MAIN FLOOR TO BE RAISED TO MATCH APPROX. 8'0" TALL DOORS.
- ALL WINDOWS ON MAIN FLOOR TO HAVE TRANSOM ABOVE.
- MAIN ENTRY DOOR AND DOOR TO BACKYARD WILL BE APPROX. 8'0" TALL. (PLEASE NOTE: IF REAR DOOR IS A SLIDING DOOR, IT WILL BE UPGRADED TO FRENCH DOOR.)
- ROLL UP OVER HEAD GARAGE DOOR WILL BE APPROX. 8'0" TALL.
- BASEMENT DOOR GROUND FLOOR SHOULD BE STANDARD SIZE.



PART. BASEMENT PLAN 'B'



PART. GROUND FLOOR PLAN 'B'

3-20M REBARS IN TOP OF FDN. WALL FOR LATERAL SUPPORT @ STAIR OPENING EXTEND BARS 30" BEYOND STAIR OPENING EACH WAY

NOTE: #1: PROVIDE SOLID BLOCKING AT 24" O.C. AT JOIST SPACE ADJACENT TO FDN. WALL WHERE FLOOR JOISTS RUN PARALLEL TO FDN. WALL (TYP.)

NOTE: REINFORCEMENT BARS
* PROVIDE 2-15M HORIZONTAL REINFORCING EACH SIDE FACE OF FOUNDATION WALL AND 4" BELOW WINDOW OPENING, EXTEND BARS 24" BEYOND OPENING EACH WAY
* PROVIDE 2-15M VERTICAL REINFORCING EACH SIDE FACE OF FOUNDATION WALL AND WINDOW OPENING FROM TOP OF FOOTING TO 2" BELOW TOP OF FOUNDATION WALL
* BARS TO HAVE MIN. 2" CONCRETE COVER

SOIL TO HAVE MIN. 150 KPa BEARING CAPACITY FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6

NOTE: FLOOR FRAMING INFO. REFER TO FLOOR TRUSS MANUF. SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION & DETAILS UNLESS OTHERWISE NOTED

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUF.

FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" WEATHER PROOFED O.S.B. & TO BE GLUED & NAILED

NOTE: 2-2" DIA. PVC CONDUIT FOR FUTURE SOLAR ROUGH-IN

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST. 3.0m
MIL-EX-NOTE-2020.dwg

NOTE: FW
2"x6" @ 16" O.C. STUD MECHANICAL WALL
3/8" ASPENITE SHEATHING
2"x6" @ 16" O.C. STUDS W/ MIN. R24 INSULATION
1/2" DRYWALL FINISH TAPED & SEALED GASPROOF

9.			
8.			
7.			
6.			
5.	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS	
4.	ISSUED FOR PERMIT	APR.19/23 SR	
3.	ISSUED FOR PERMIT	MAR.14/23 JM	
2.	ISSUED FOR CLIENT REVIEW	FEB. 10/22 NH	
1.	ISSUED FOR CLIENT REVIEW	AUG. 13/21TP	
no.	description	date	by

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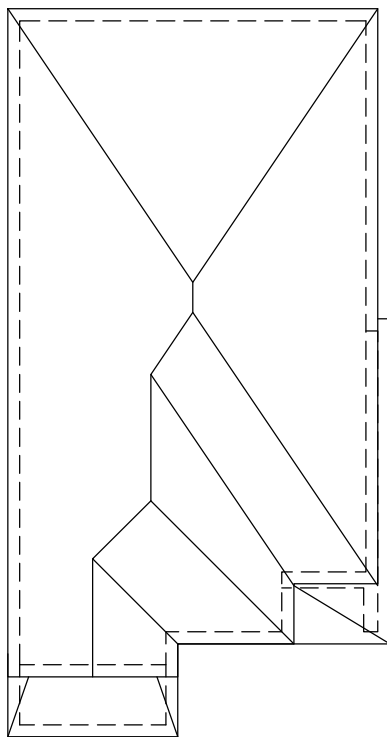
FIELDGATE HOMES

project name	MIL CON THREE
municipality	MILTON, ONTARIO
unit name	THE GRASSLANDS
unit no.	14032
(FORMERLY SV36-9)	MC36-5
partial. flr. plans 'B'	
scale	3/16" = 1'-0"
date	2021-10
drawn by	WT/JM
checked by	
file name	2021_TYPOLOGY-SAMPLE PLANS
drawing no.	4

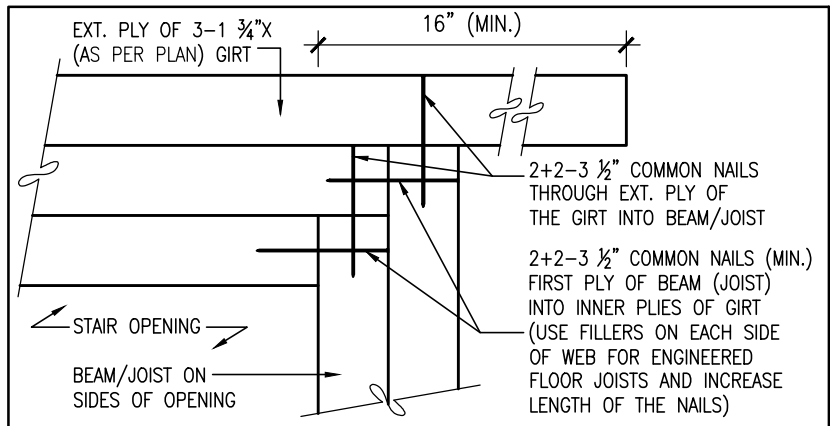
FOR GEORGETOWN 36' SINGLE (#20021)

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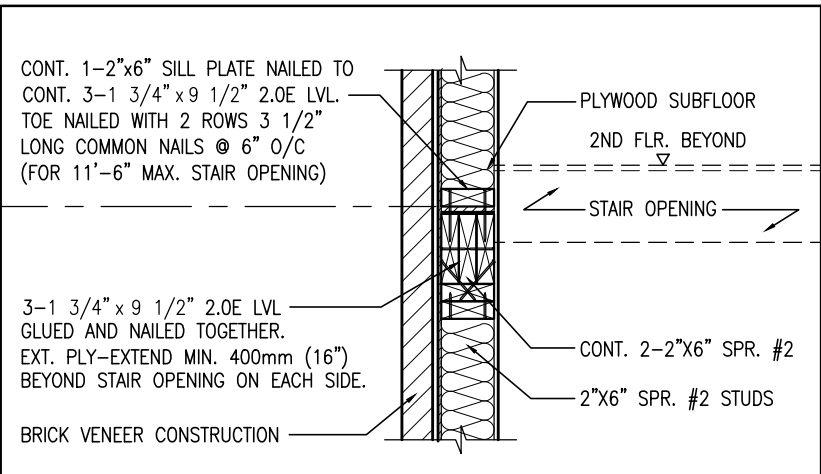
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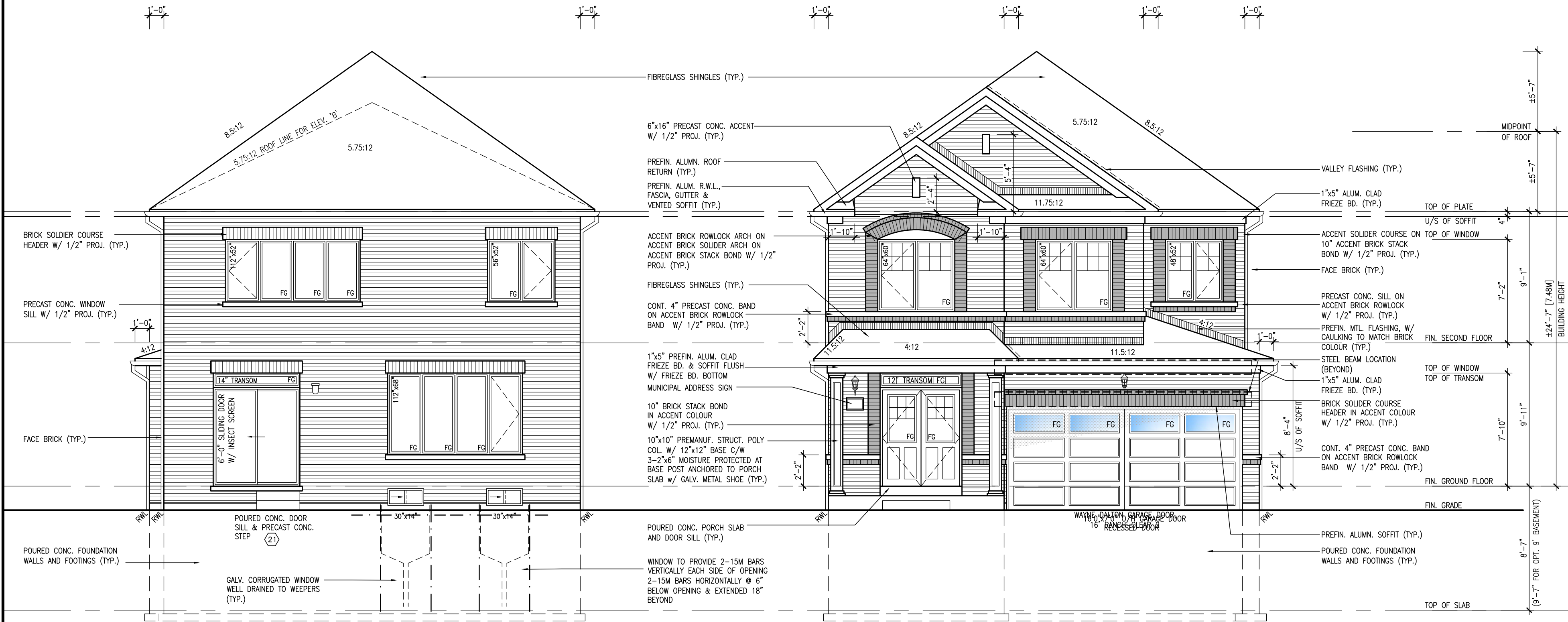
ROOF PLAN 'A'



PLAN VIEW OF 3 PLY GIRT AT DETAIL Xw LATERAL SUPPORT OF STAIR OPENING

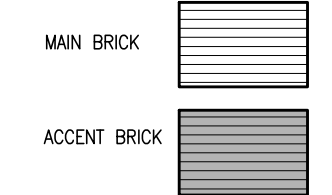


SECTION AT EXT. WALL LATERAL SUPPORT AT STAIR OPENING



STD. REAR ELEVATION 'A'/'B'

FRONT ELEVATION 'A'



no.	description	date	by
9.			
8.			
7.			
6.			
5.	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS	
4.	ISSUED FOR PERMIT	APR.19/23 SR	
3.	ISSUED FOR PERMIT	MAR.14/23 JM	
2.	ISSUED FOR CLIENT REVIEW	FEB. 10/22 NH	
1.	ISSUED FOR CLIENT REVIEW	AUG. 13/21TP	

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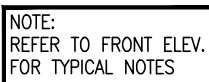
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FIELDGATE HOMES

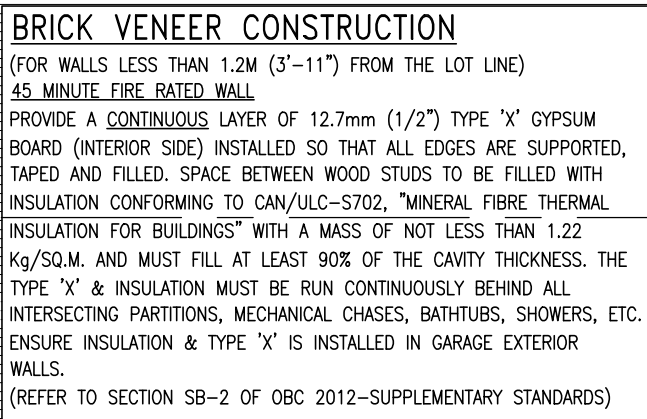
project name	MIL CON THREE
municipality	MILTON, ONTARIO
unit name	THE GRASSLANDS
unit no.	14032
(FORMERLY SV36-9)	MC36-5
date	2021-10
scale	3/16" = 1'-0"
drawn by	WT/JM
checked by	
file name	20021_TYPOLOGY-SAMPLE PLANS

5

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.



LEFT SIDE ELEVATION 'A'



HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

RIGHT SIDE ELEVATION 'A'

9	.	.	.
8	.	.	.
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6	.	.	.
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23	NS
4	ISSUED FOR PERMIT	APR.19/23	SR
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no.	description	date	by



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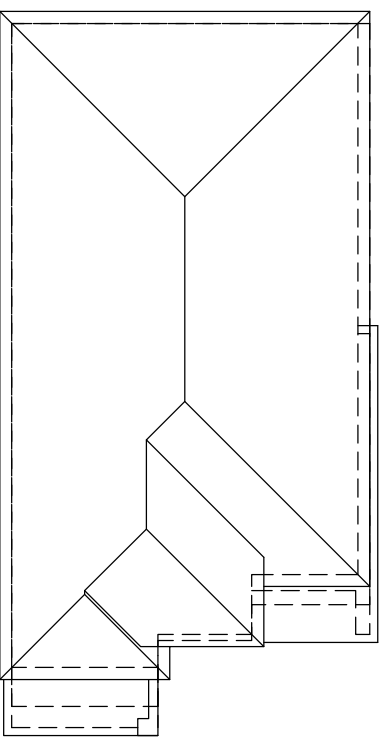
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FIELDGATE HOMES

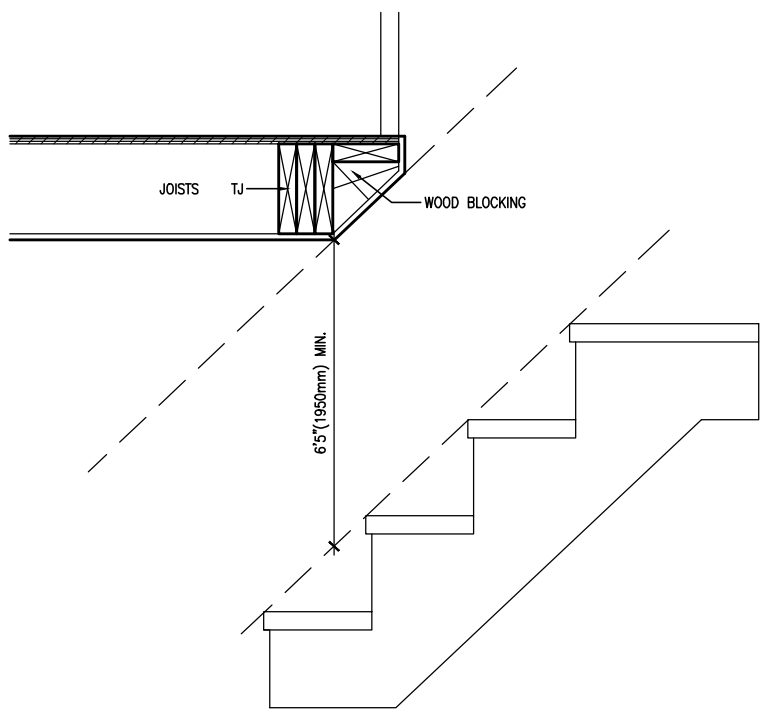
project name		project no.	
MIL CON THREE		14032	
municipality		unit no.	
MILTON, ONTARIO			
unit name			
THE GRASSLANDS			
(FORMERLY SV36-9)		MC36-5	

LEFT & RIGHT SIDE ELEV. 'A'		title
date 2021-10	scale 3/16" = 1'-0"	drawing no. 6
drawn by WT/JM	checked by .	
file name 20021_TYPOLOGY-SAMPLE PLANS		

FOR GEORGETOWN 36' SINGLE (#20021)



ROOF PLAN 'B'

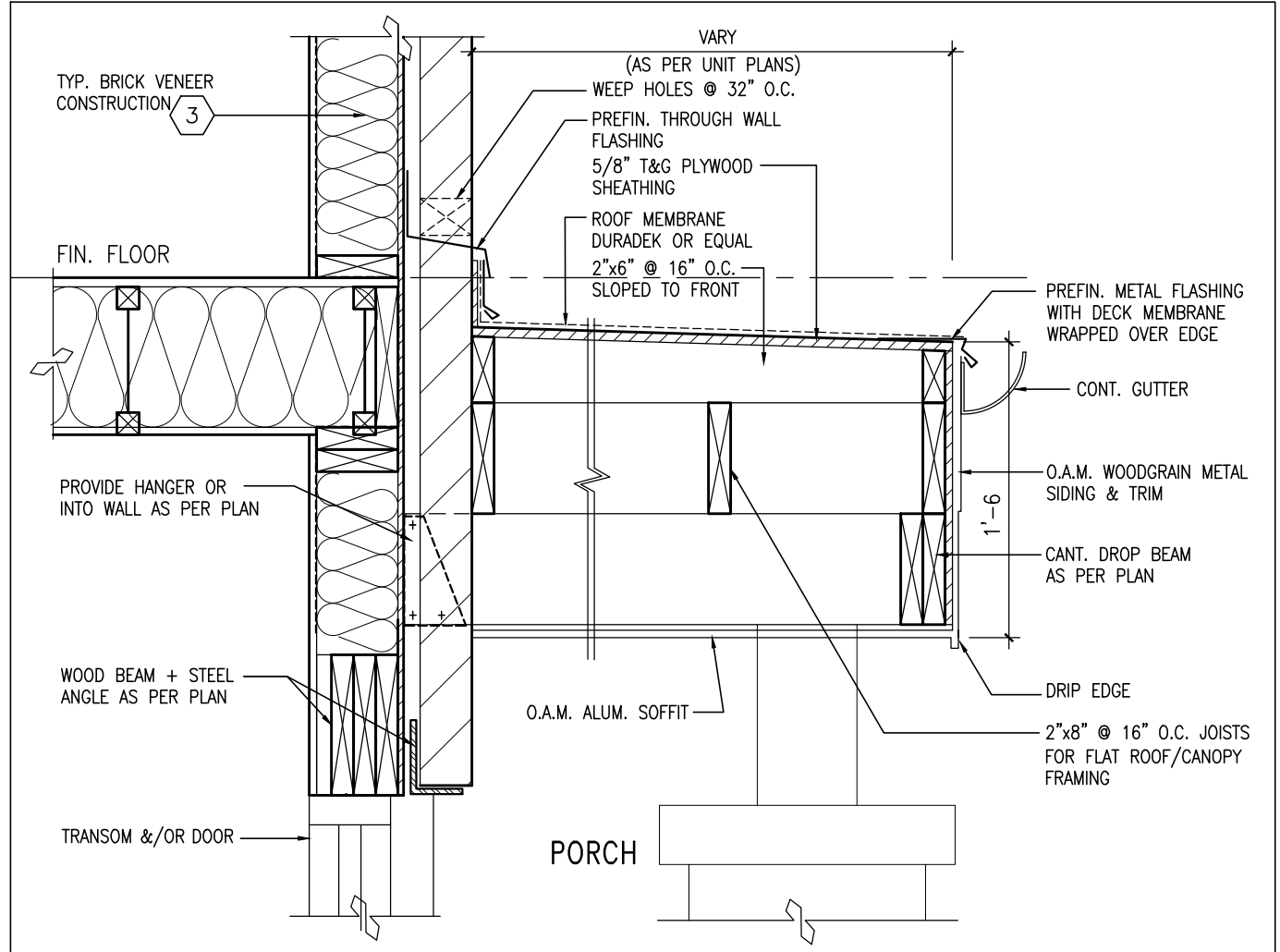


M20 SLOPED CEILING OVER STAIR
SCALE: 1"=1'0"

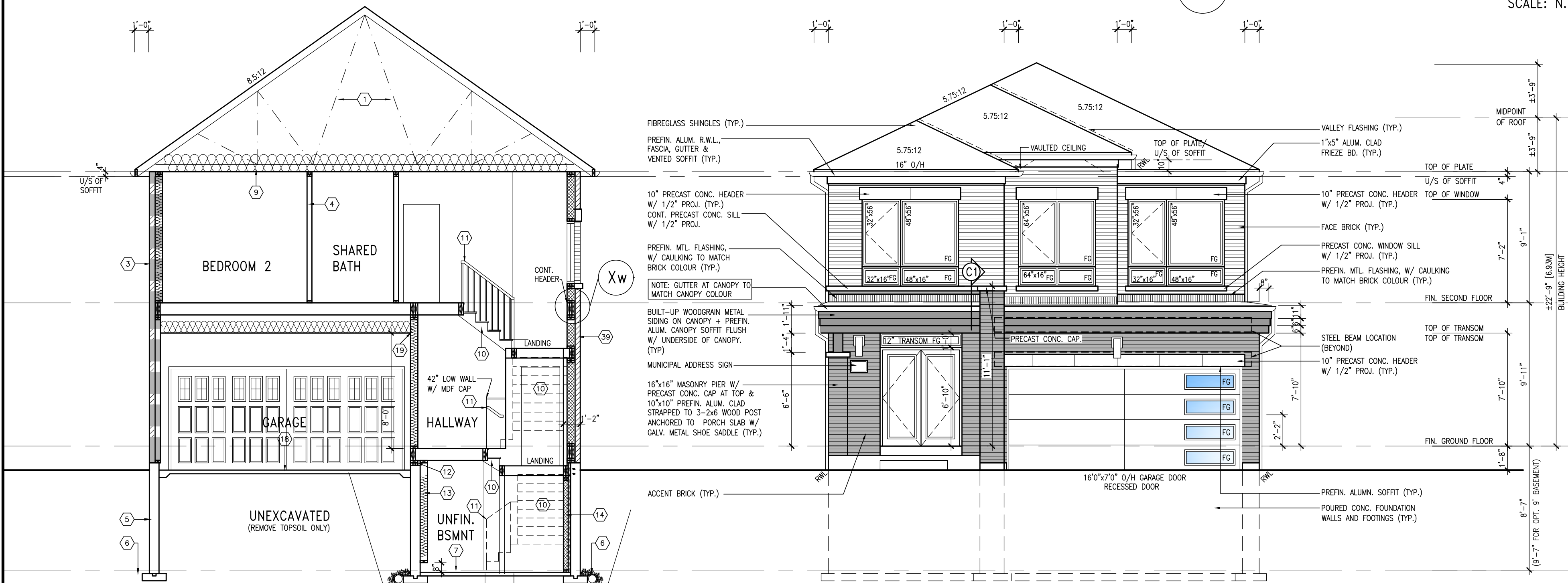
ALL BRICK-WORK TO
BE PROJECTED 1/2"

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C1 SECTION THROUGH FLAT ROOF OVER PORCH
SCALE: N.T.S.



FRONT ELEVATION 'B'

CROSS SECTION A-A

no.	description	date	by
9.			
8.			
7.			
6.			
5.	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS	
4.	ISSUED FOR PERMIT	APR.19/23 SR	
3.	ISSUED FOR PERMIT	MAR.14/23 JM	
2.	ISSUED FOR CLIENT REVIEW	FEB. 10/22 NH	
1.	ISSUED FOR CLIENT REVIEW	AUG. 13/21TP	

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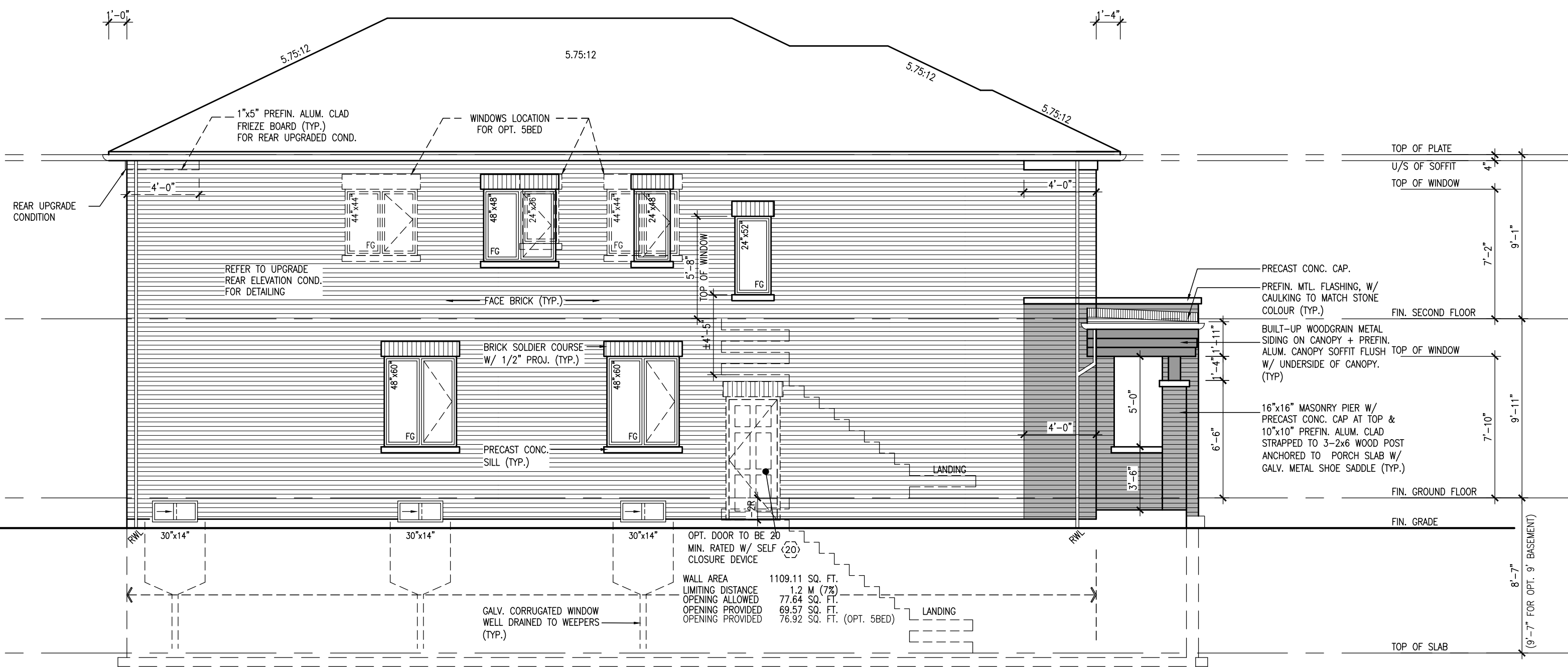
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FIELDGATE HOMES			
project name	MIL CON THREE		
municipality	MILTON, ONTARIO		
unit name	THE GRASSLANDS	project no.	14032
(FORMERLY SV36-9)	MC36-5	unit no.	
date	2021-10	scale	3/16" = 1'-0"
drawn by	WT/JM	checked by	
file name	20021_TYPOLOGY-SAMPLE PLANS		

FOR GEORGETOWN 36' SINGLE (#20021)

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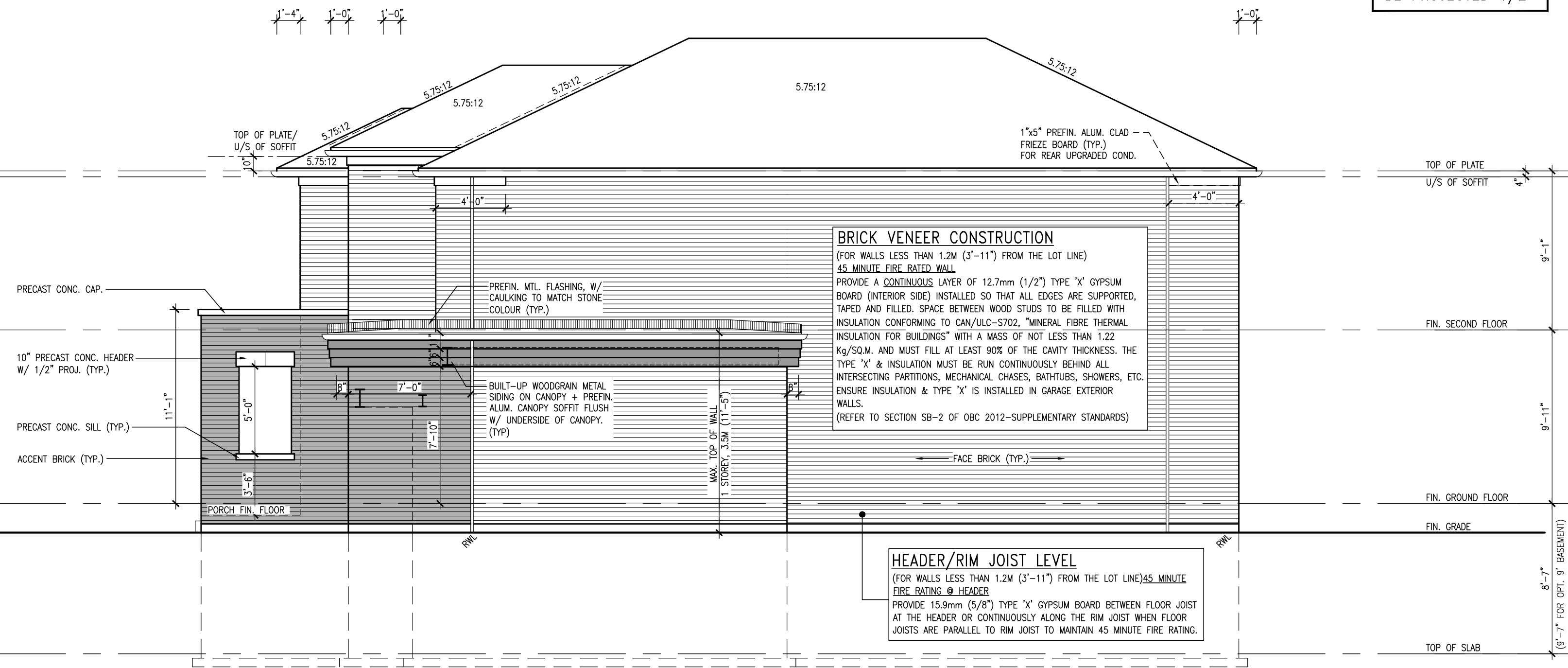
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.



LEFT SIDE ELEVATION 'B'

NOTE:
REFER TO FRONT ELEV.
FOR TYPICAL NOTES

ALL BRICK-WORK TO
BE PROJECTED 1/2"



RIGHT SIDE ELEVATION 'B'

9		
8		
7		
6		
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS
4	ISSUED FOR PERMIT	APR.19/23 SR
3	ISSUED FOR PERMIT	MAR.14/23 JM
2	ISSUED FOR CLIENT REVIEW	FEB. 10/22 NH
1	ISSUED FOR CLIENT REVIEW	AUG. 13/21TP
no.	description	date by

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FIELDGATE HOMES

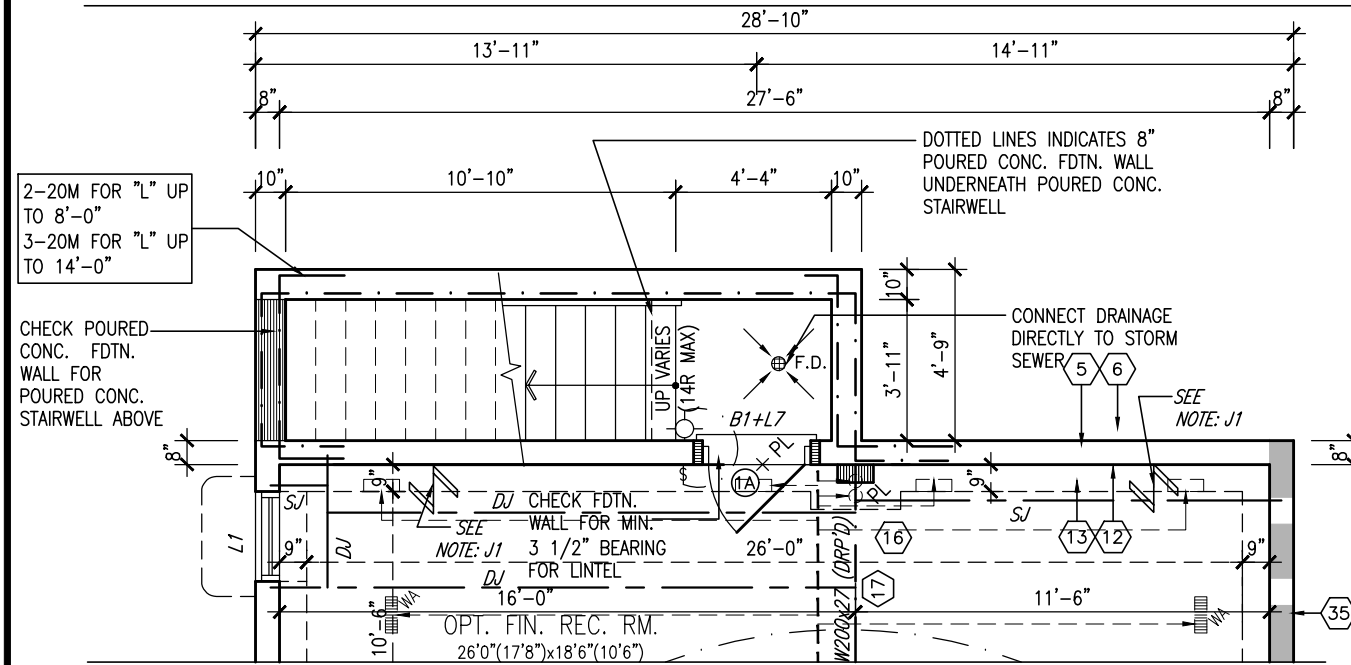
project name
MIL CON THREE
municipality
MILTON, ONTARIO
unit name
THE GRASSLANDS
unit no.
14032
(FORMERLY SV36-9)
MC36-5

date
2021-10
scale
3/16" = 1'-0"
drawing no.
8

drawn by
WT/JM
checked by

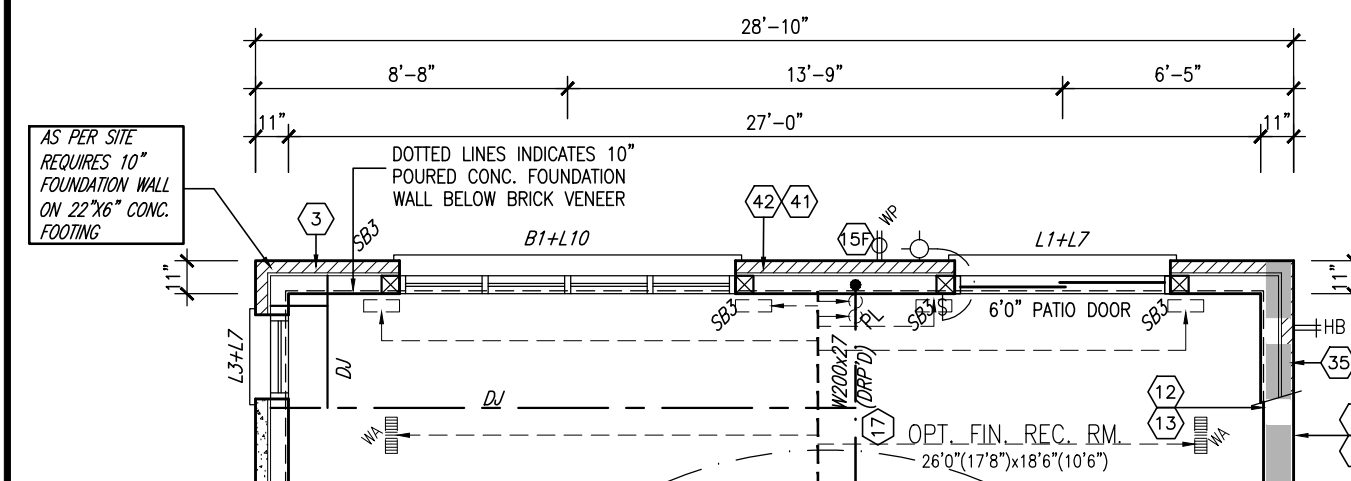
file name
20021_TYPOLOGY-SAMPLE PLANS

FOR GEORGETOWN 36' SINGLE (#20021)



PART. BASEMENT PLAN W.U.B. CONDITION

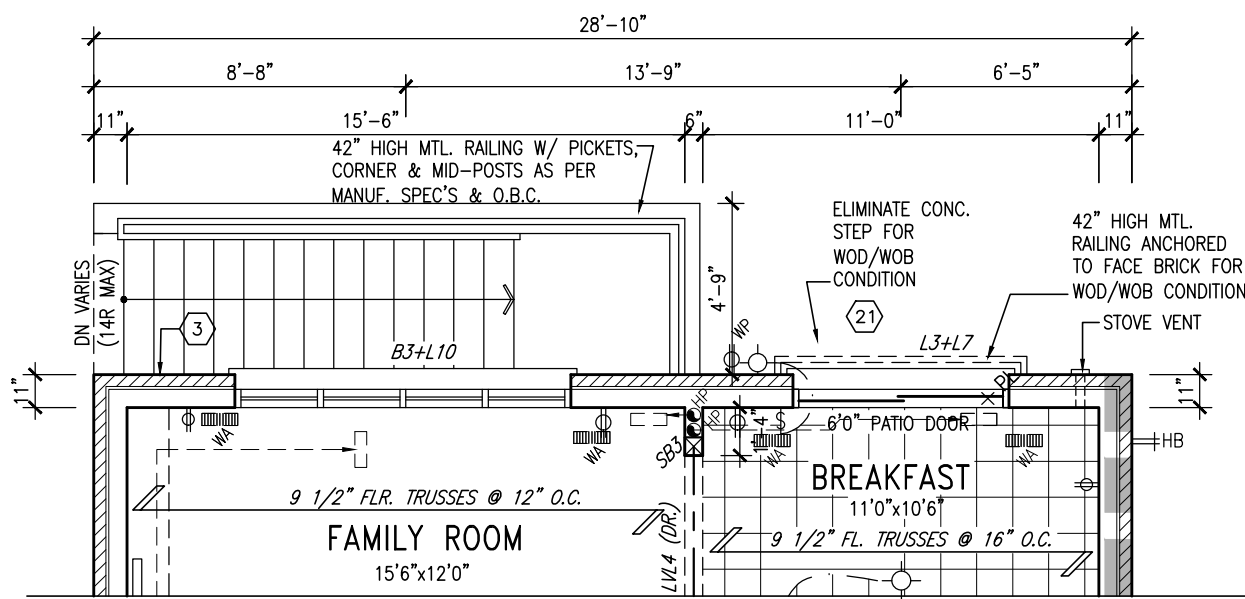
*SUBJECT TO GRADING APPROVAL AND RISER COUNT MAY VARY.
(SIMILAR FOR 9' BASEMENT POUR)



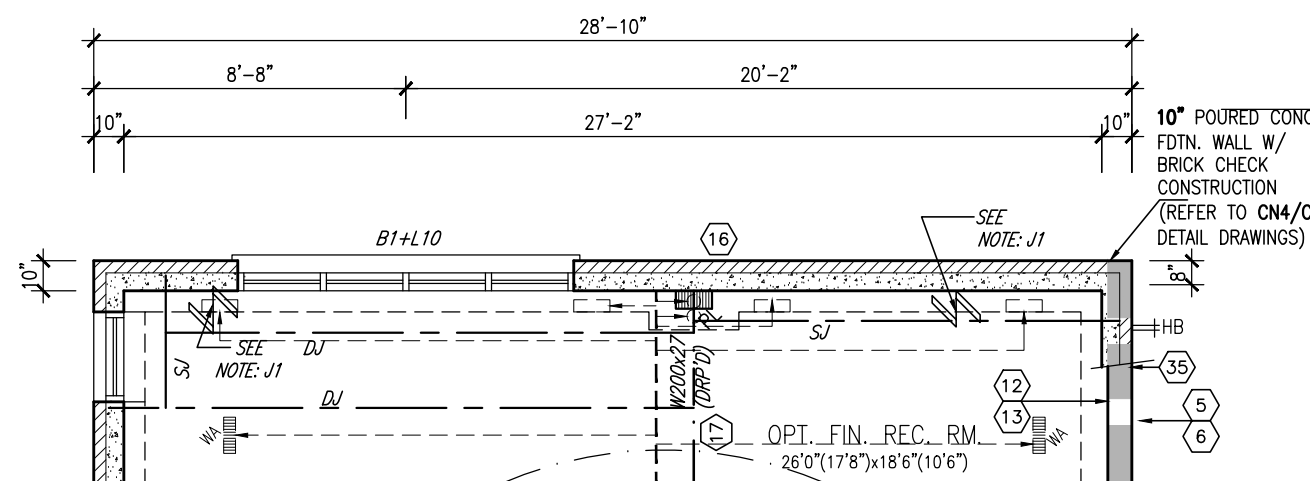
PART. BASEMENT PLAN - W.O.B. COND.

WALK OUT BASEMENT COND.
FOR WALK OUT BASEMENT COND. SIDE & REAR FOUNDATION WALLS
TO BE 10" MIN. AS REQ. BY GRADE. REFER TO DETAILS 5 to 8 ON
PG C14 FOR CONSTRUCTION OF SIDE WALLS.
-CONSTRUCTION TO BE CONCRETE W/ BRICK CHECK OR STUD
WALL W/ BRICK VENEER AS GRADE CONDITIONS REQUIRE.
NOTE:
SOLID BEARINGS NOTED APPLY TO
STUD WALL W/ BRICK VENEER CONDITION.

NOTE:
REFER TO FRONT ELEV.
FOR TYPICAL NOTES



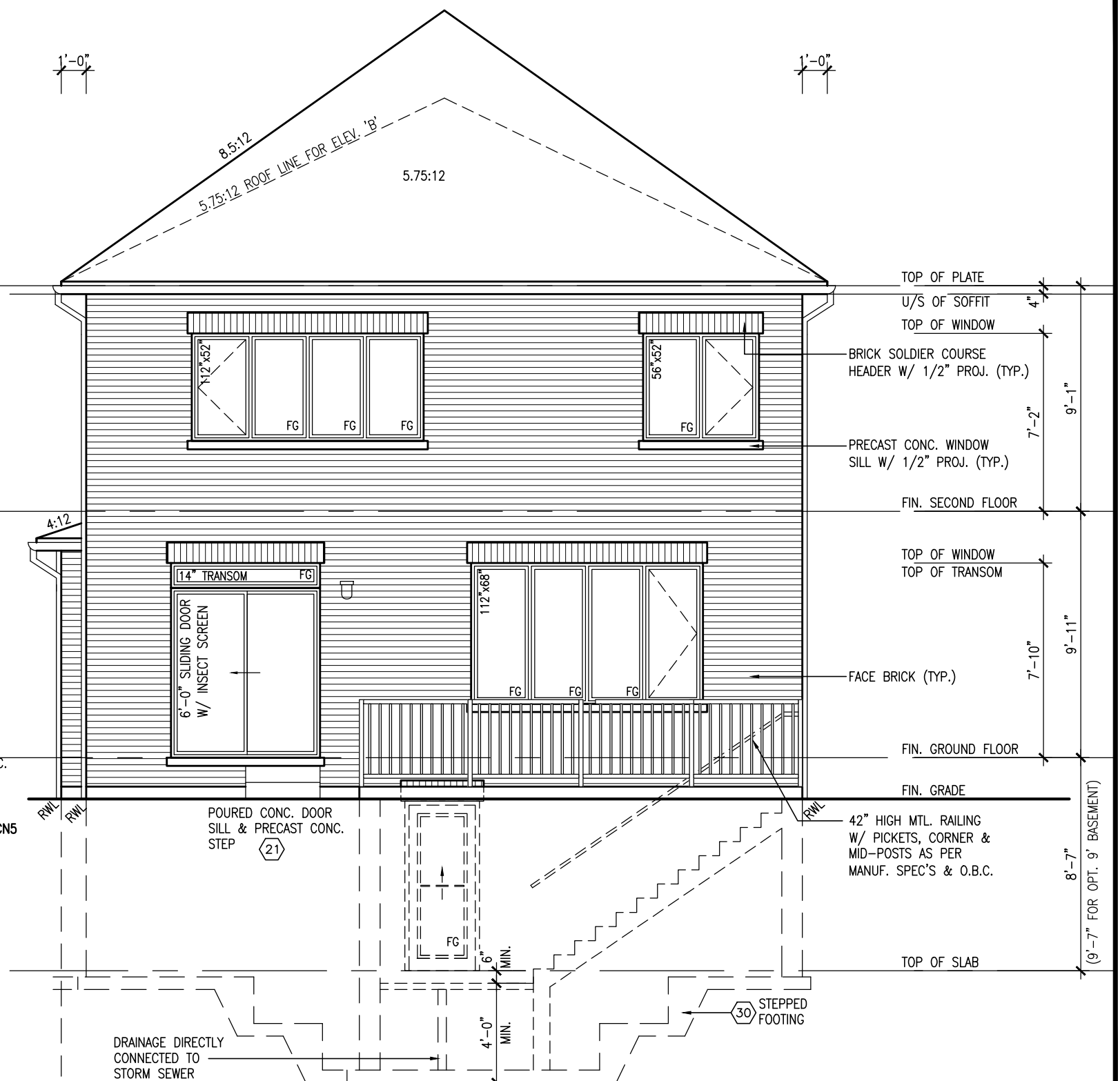
PART. GROUND FLR. PLAN W.U.B. CONDITION



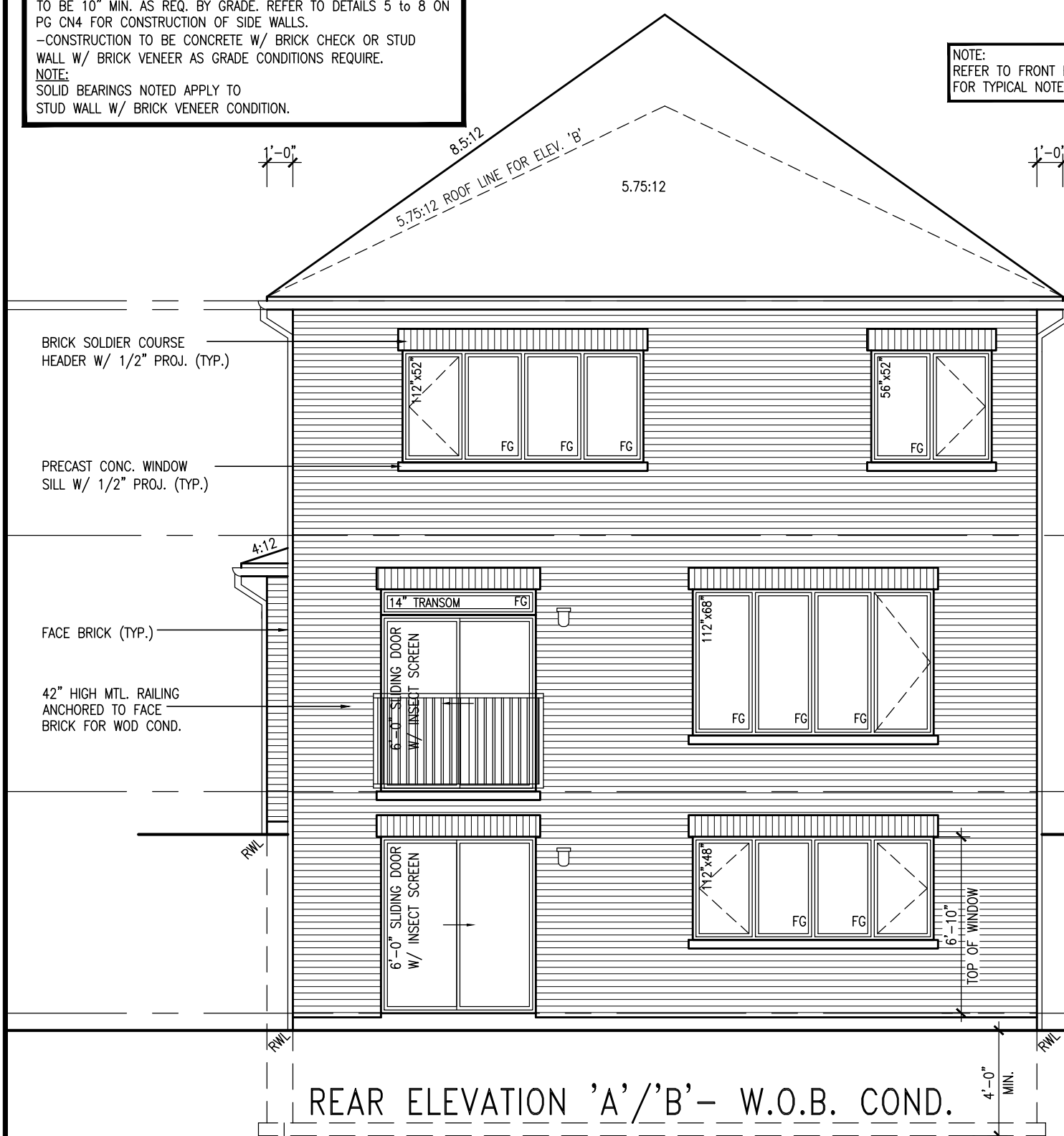
PART. BASEMENT PLAN - W.O.D. COND.

WALK OUT DECK COND.
FOR WALK OUT DECK COND. REFER TO DETAILS 2 to 8 ON
PG CN4 FOR CONSTRUCTION OF SIDE & REAR WALLS.
-CONSTRUCTION TO BE CONCRETE W/ BRICK CHECK OR STUD
WALL W/ BRICK VENEER AS GRADE CONDITIONS REQUIRE.
NOTE:
SOLID BEARINGS NOTED APPLY TO
STUD WALL W/ BRICK VENEER CONDITION.

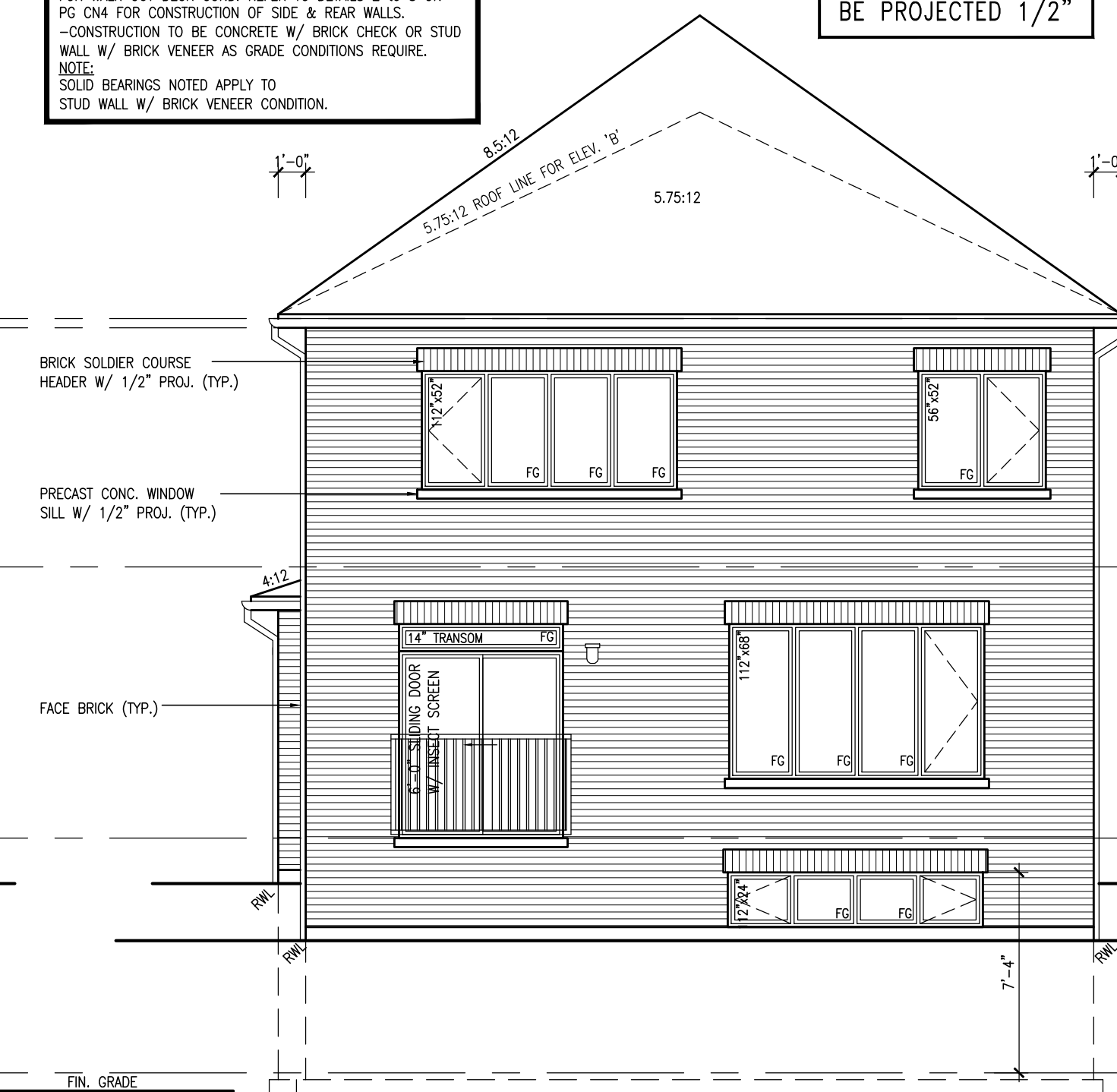
ALL BRICK-WORK TO
BE PROJECTED 1/2"



REAR ELEVATION 'A'/'B'
WALK-UP CONDITION



REAR ELEVATION 'A'/'B'— W.O.B. COND.



REAR ELEVATION 'A'/'B' - W.O.B. COND.

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W.O.D. WINDOW SIZES
REFER TO PAGE CN4/CN5
FOR WINDOW SIZE AND
FOUNDATION CONDITIONS

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23	MS
4	ISSUED FOR PERMIT	APR.19/23	SR
3	ISSUED FOR PERMIT	MAR.14/23	JM
2	ISSUED FOR CLIENT REVIEW	FEB. 10/22	NH
1	ISSUED FOR CLIENT REVIEW	AUG. 13/21	TP
no.	description	date	by



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Jun 21 2025

plots.dsq -- Tue

FIELDGATE HOMES

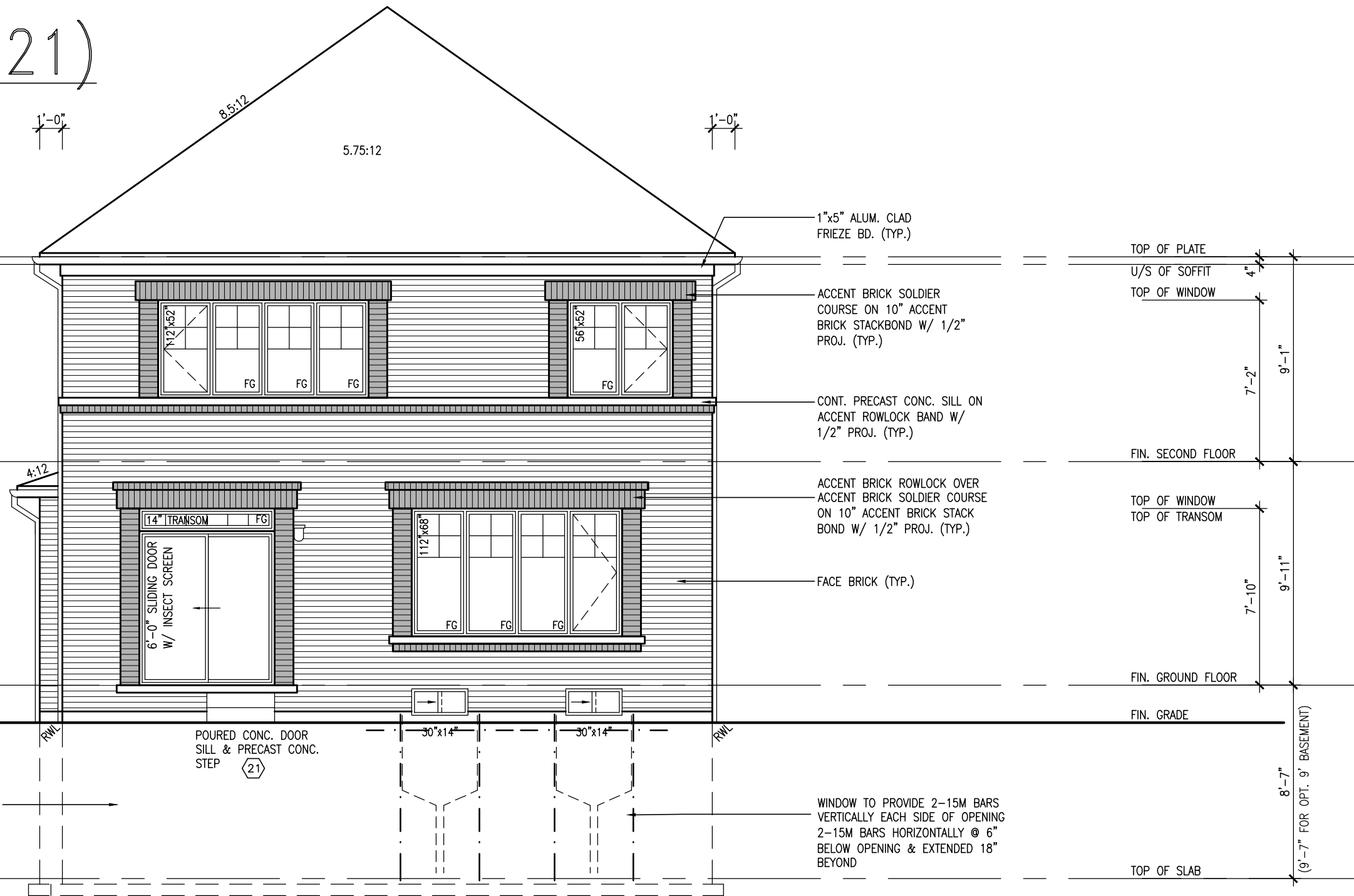
MIL CON THREE		0021.FE.20021
municipality		
MILTON, ONTARIO		
unit name	project no.	

THE GRASSLANDS 14032
unit no.
(FORMERLY SV36-9) **MC36-5**

W.O.B., W.O.D., W.U.B. COND.		title
date	scale	drawing no.
2021-10	3/16" = 1'-0"	

drawn by WT/JM	checked by .	9	SALEENA RAJIA
file name 20021 TYPOLOGY-SAMPLE PLANS			

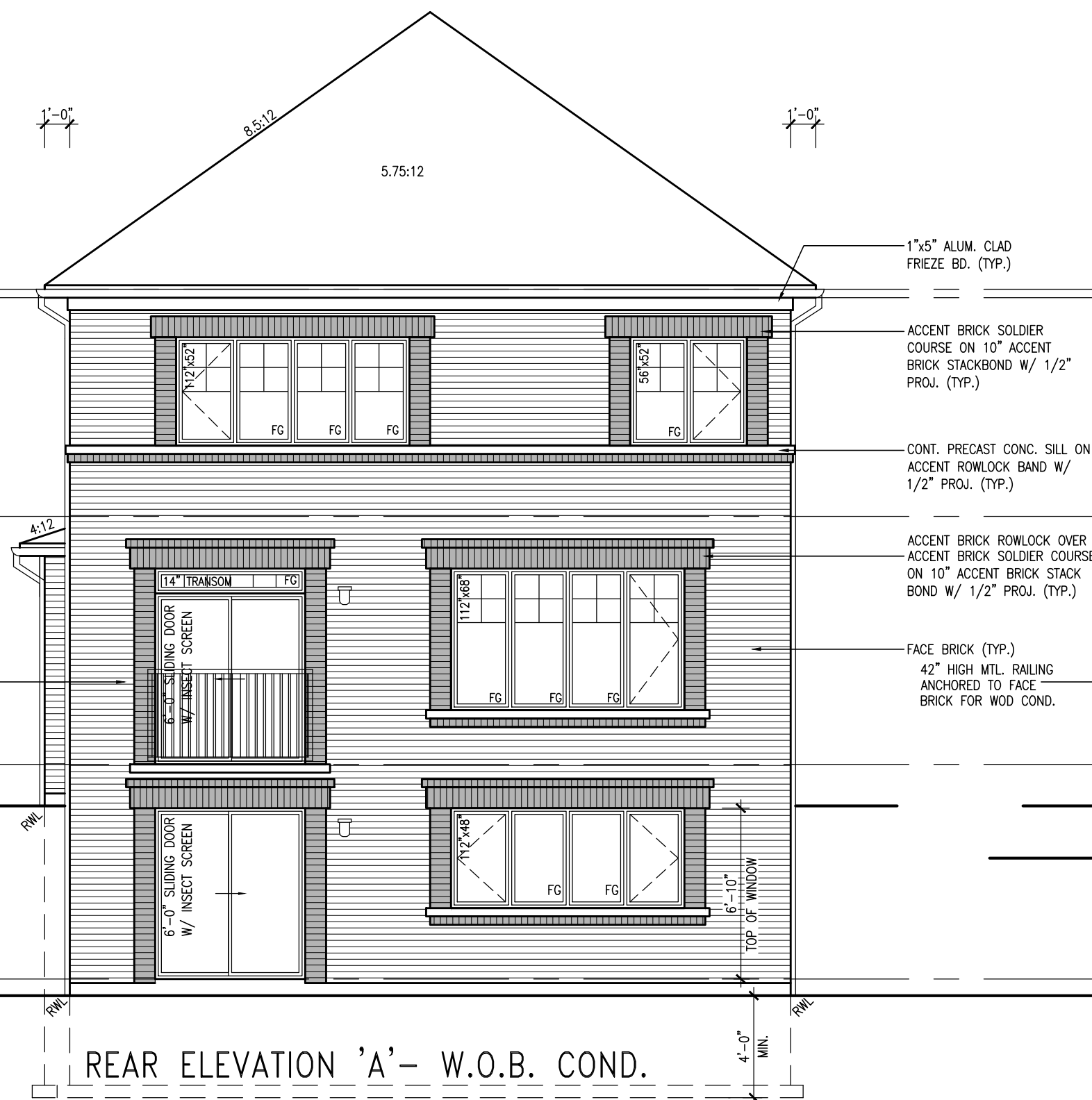
FOR GEORGETOWN 36' SINGLE (#20021)



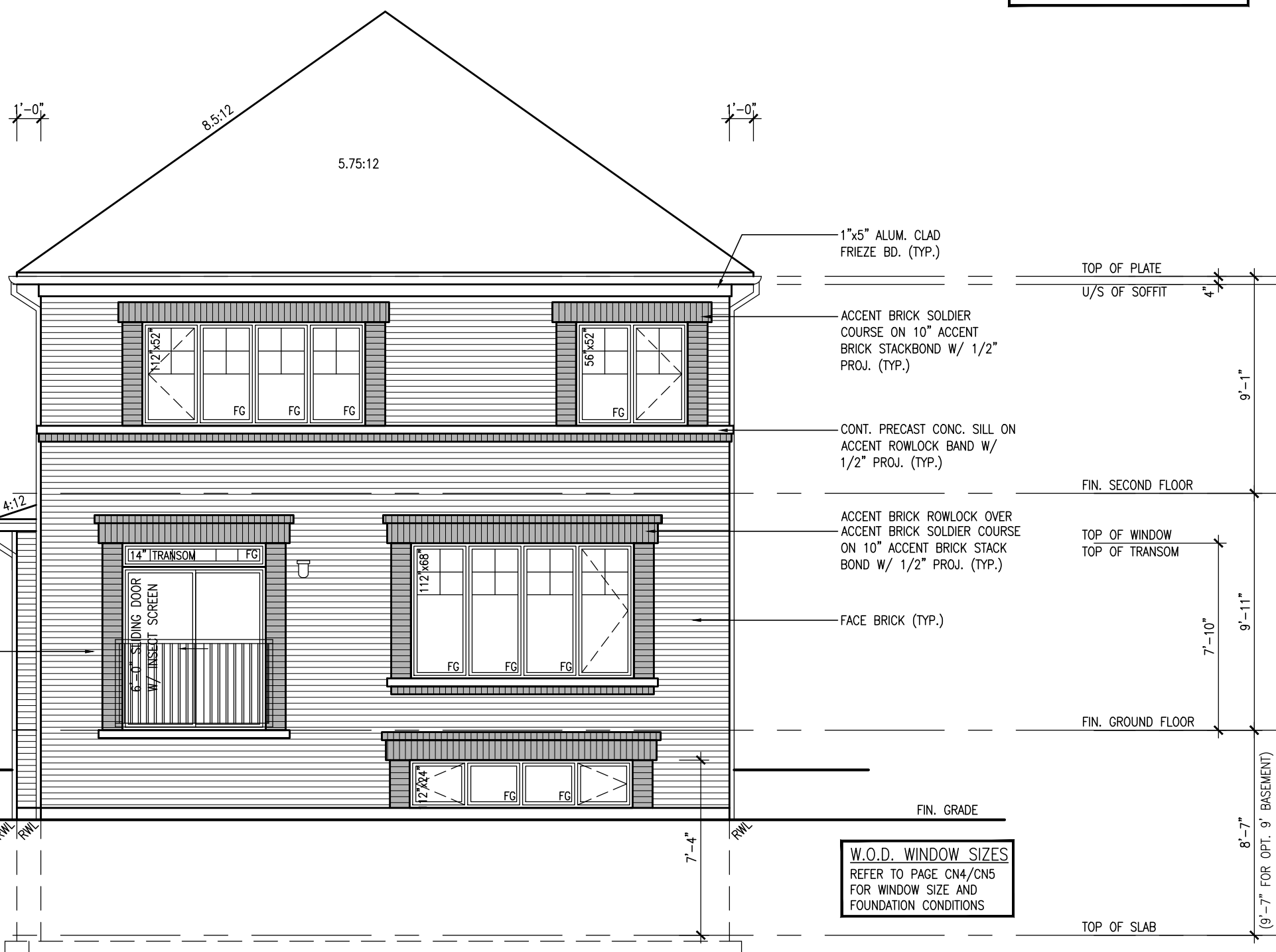
REAR UPGRADE ELEVATION 'A'

NOTE:
REFER TO FRONT ELEV.
FOR TYPICAL NOTES

ALL BRICK-WORK TO
BE PROJECTED 1/2"



REAR ELEVATION 'A' - W.O.B. COND.



REAR ELEVATION 'A' - W.O.D. COND.

W.O.D. WINDOW SIZES
REFER TO PAGE CN4/CN5
FOR WINDOW SIZE AND
FOUNDATION CONDITIONS

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9			
8			
7			
6			
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS	
4	ISSUED FOR PERMIT	APR.19/23 SR	
3	ISSUED FOR PERMIT	MAR.14/23 JM	
2	ISSUED FOR CLIENT REVIEW	FEB. 10/22 NH	
1	ISSUED FOR CLIENT REVIEW	AUG. 13/21TP	
no.	description	date	by

VA3

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FIELDGATE HOMES

project name
MIL CON THREE
municipality
MILTON, ONTARIO
unit name
THE GRASSLANDS
(FORMERLY SV36-9)

project no.
14032
unit no.
MC36-5

REAR ELEVATIONS (REAR UPGRADED)

date
2021-10
drawn by
WT/JM

scale
3/16" = 1'-0"
checked by

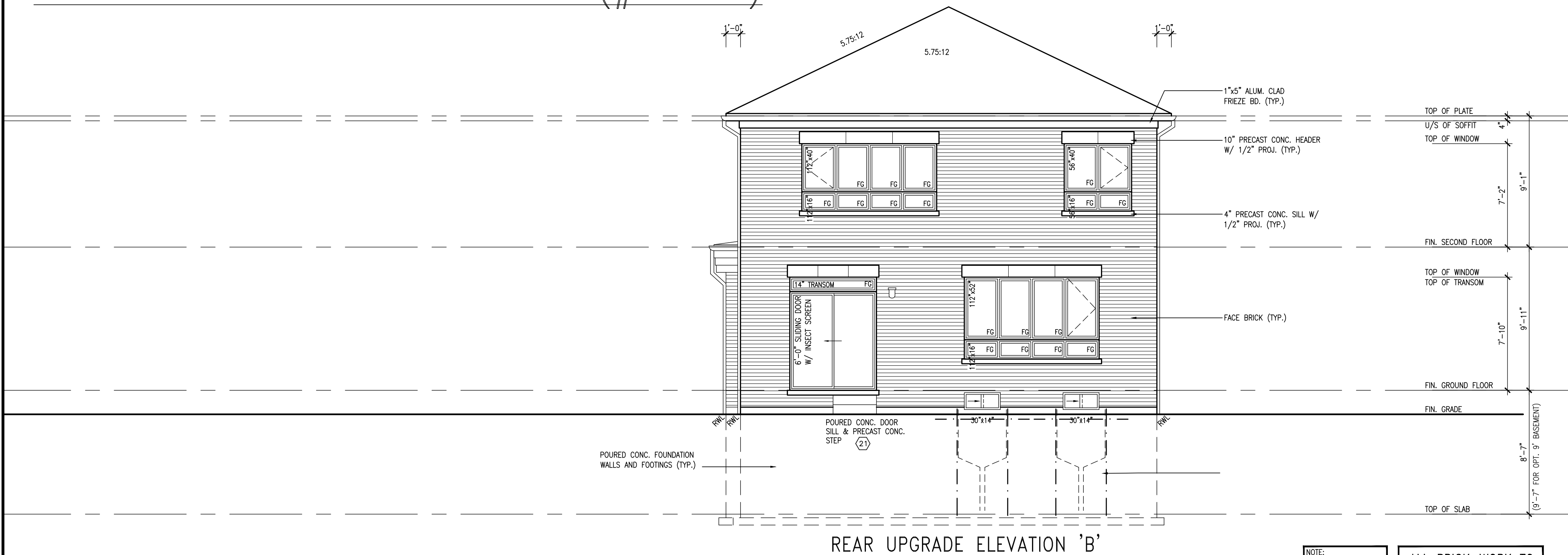
date
20021_TYPOLOGY-SAMPLE PLANS

drawing no.
10

FOR GEORGETOWN 36' SINGLE (#20021)

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REAR UPGRADE ELEVATION 'B'

NOTE:
REFER TO FRONT ELEV.
FOR TYPICAL NOTES

ALL BRICK-WORK TO
BE PROJECTED 1/2"

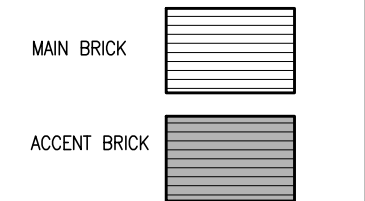


REAR ELEVATION 'B' - W.O.B. COND.

REAR ELEVATION 'B' - W.O.D. COND.

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS
4	ISSUED FOR PERMIT	APR.19/23 SR
3	ISSUED FOR PERMIT	MAR.14/23 JM
2	ISSUED FOR CLIENT REVIEW	FEB. 10/22 NH
1	ISSUED FOR CLIENT REVIEW	AUG. 13/21TP
no.	description	date by
V3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		
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FIELDGATE HOMES		
project name MIL CON THREE		
municipality MILTON, ONTARIO		
unit name THE GRASSLANDS	project no. 14032	unit no.
(FORMERLY SV36-9)		MC36-5
REAR ELEVATIONS (REAR UPGRADE)		
date 2021-10	scale 3/16" = 1'-0"	drawing no. 11
drawn by WT/JM	checked by	file name 2021_TYPOLOGY-SAMPLE PLANS

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.



	-	-
	-	-
	-	-
	-	-
REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23	NS
ISSUED FOR PERMIT	APR. 19/23	SR
ISSUED FOR PERMIT	MAR. 14/23	JM
ISSUED FOR CLIENT REVIEW	FEB. 10/22	NH
ISSUED FOR CLIENT REVIEW	AUG. 13/21	PT
description	date	bv



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FRONT ELEVATION 'A'
(OPT. 10'-0" GROUND FLR. CEILING)

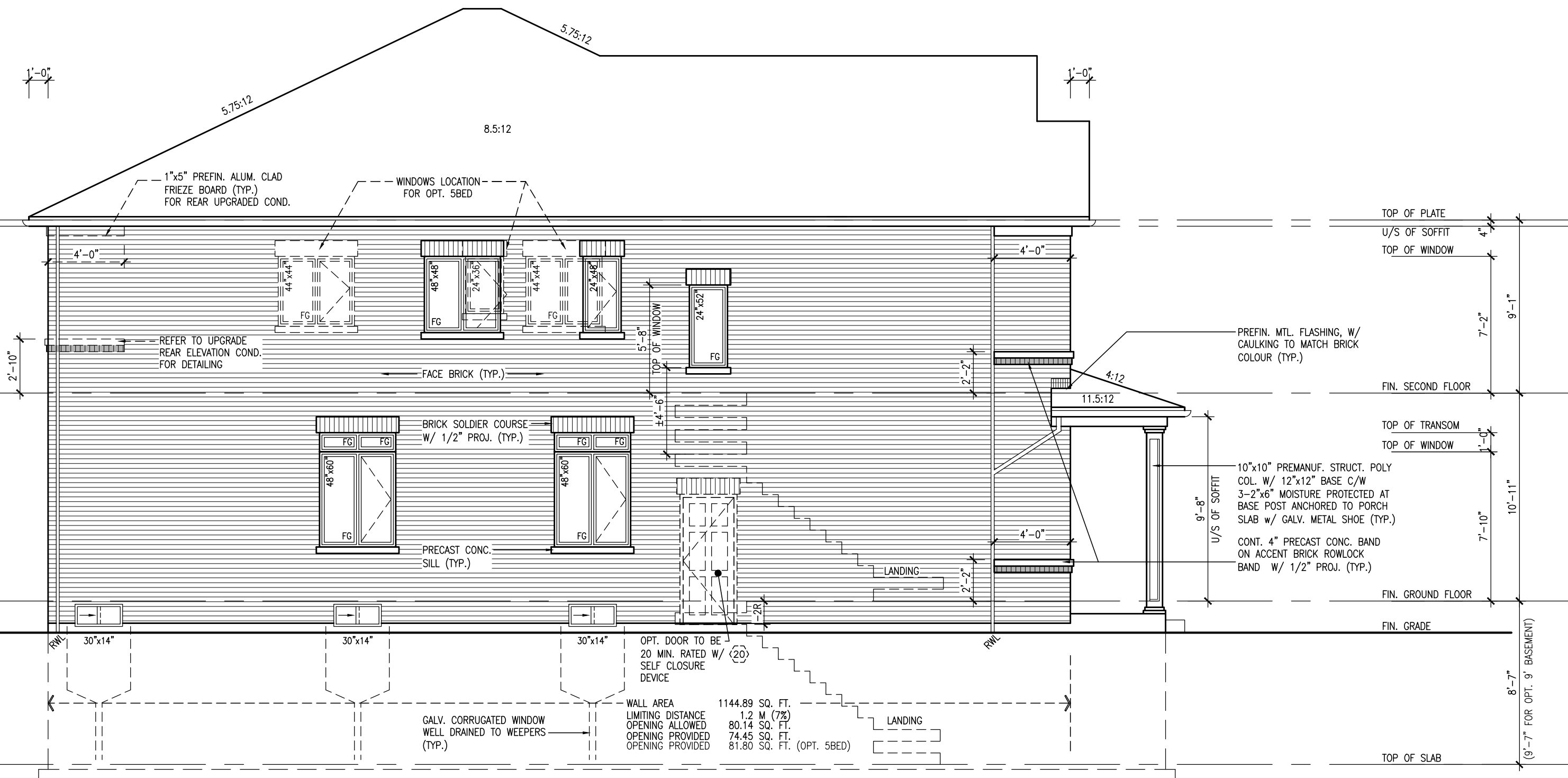
FIELDGATE HOMES

Project name		project no.	
L CON THREE		14032	
City/County		unit no.	
LTON, ONTARIO		MC36-5	
E GRASSLANDS		FORMERLY SV36-9)	
FRONT & REAR		ELEV. A' ^{site}	
1-10		drawing no.	
3/16" = 1'-0" ^{scale}		13	
by ^{checked by}			
JM			
file name			
0121_TYPOLOGY-SAMPLE PLANS			

FOR GEORGETOWN 36' SINGLE (#20021)

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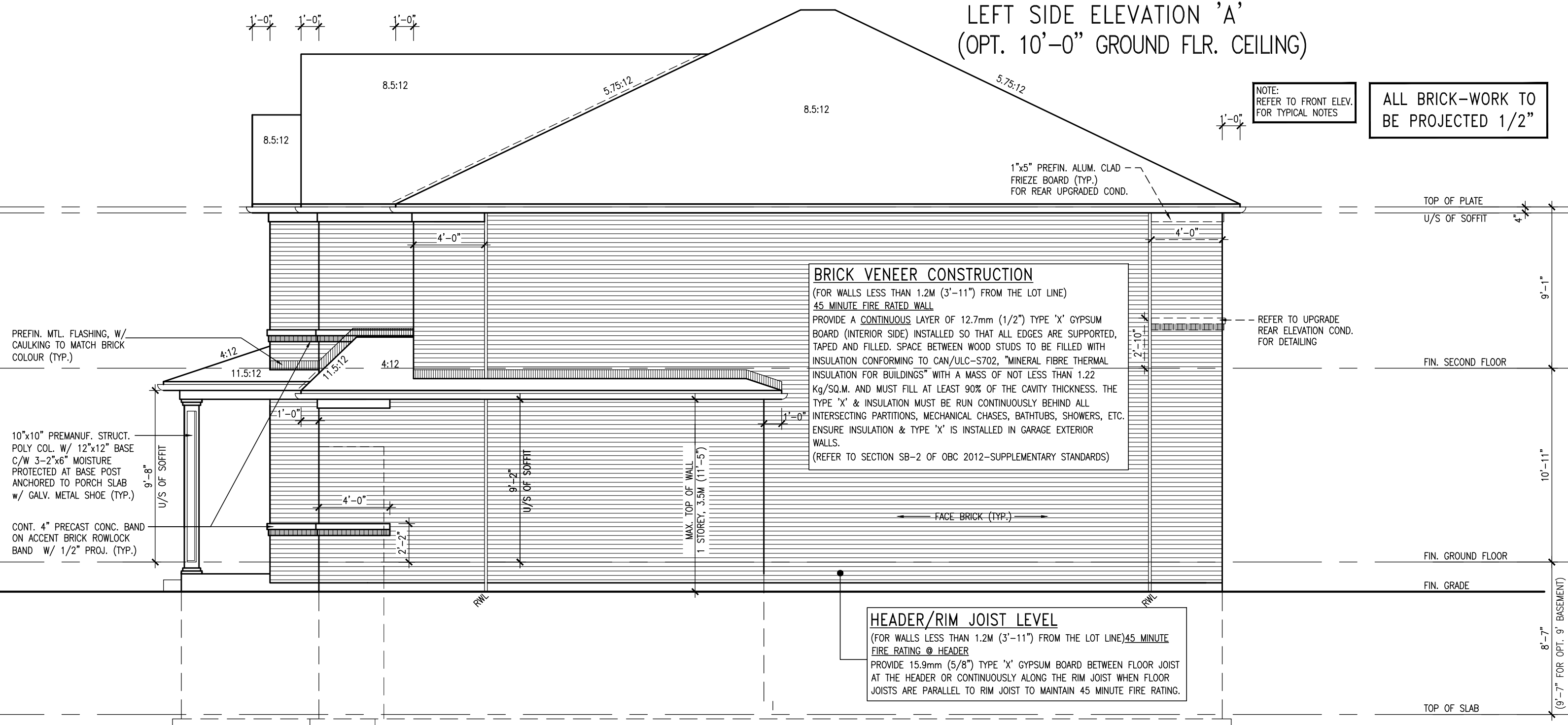
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LEFT SIDE ELEVATION 'A'
(OPT. 10'-0" GROUND FLR. CEILING)

NOTE:
REFER TO FRONT ELEV.
FOR TYPICAL NOTES

ALL BRICK-WORK TO
BE PROJECTED 1/2"



RIGHT SIDE ELEVATION 'A'
(OPT. 10'-0" GROUND FLR. CEILING)

9			
8			
7			
6			
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS	
4	ISSUED FOR PERMIT	APR.19/23 SR	
3	ISSUED FOR PERMIT	MAR.14/23 JM	
2	ISSUED FOR CLIENT REVIEW	FEB. 10/22 NH	
1	ISSUED FOR CLIENT REVIEW	AUG. 13/21TP	
no.	description	date	by

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FIELDGATE HOMES

project name
MIL CON THREE

municipality
MILTON, ONTARIO

unit name
THE GRASSLANDS

project no.
14032

unit no.
MC36-5

(FORMERLY SV36-9)

LEFT & RIGHT SIDE ELEV. 'A'

scale
2021-10 3/16" = 1'-0"

drawn by
WT/JM

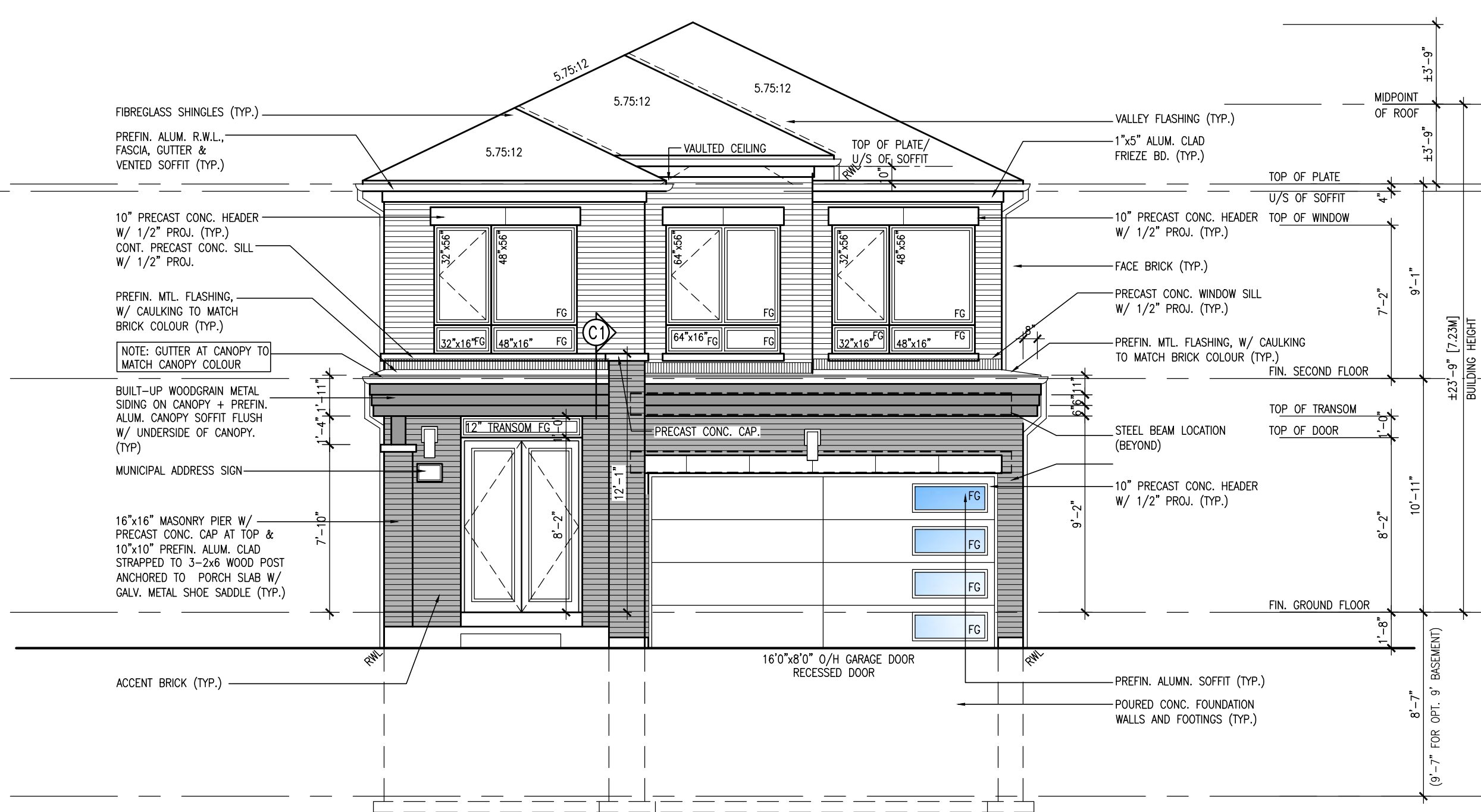
checked by

14

20021_TYPOLOGY-SAMPLE PLANS

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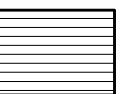


FRONT ELEVATION 'B'
(OPT. 10'-0" GROUND FLR. CEILING)

DAM SIDING



MAIN BRICK



9			
8			
7			
6			
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23	NS
4	ISSUED FOR PERMIT	APR.19/23	SR
3	ISSUED FOR PERMIT	MAR,14/23	JM
2	ISSUED FOR CLIENT REVIEW	FEB. 10/22	NH
1	ISSUED FOR CLIENT REVIEW	AUG. 13/21	TP
no.	description	date	by



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FIELDGATE HOMES

project name
MIL CON THREE
municipality
MILTON, ONTARIO

THE GRASSLANDS 14032

(FORMERLY SV36-9) **MC36-5** unit no.

FRONT ELEV. 'B', SECTION A-A

date 2021-10 scale 3/16" = 1'-0"

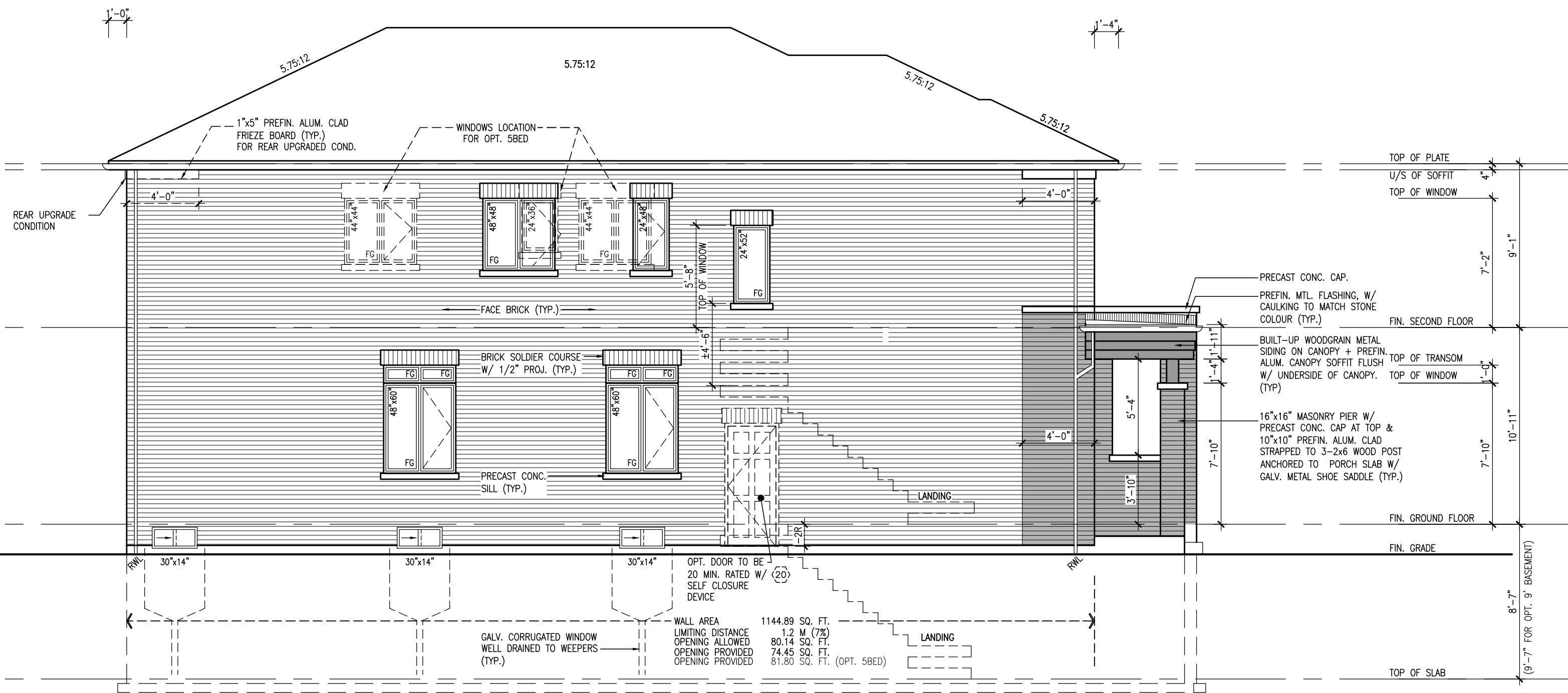
WT/JM	file name	15	ENA RA
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20021 TYPOLOGY-SAMPLE PLANS

FOR GEORGETOWN 36' SINGLE (#20021)

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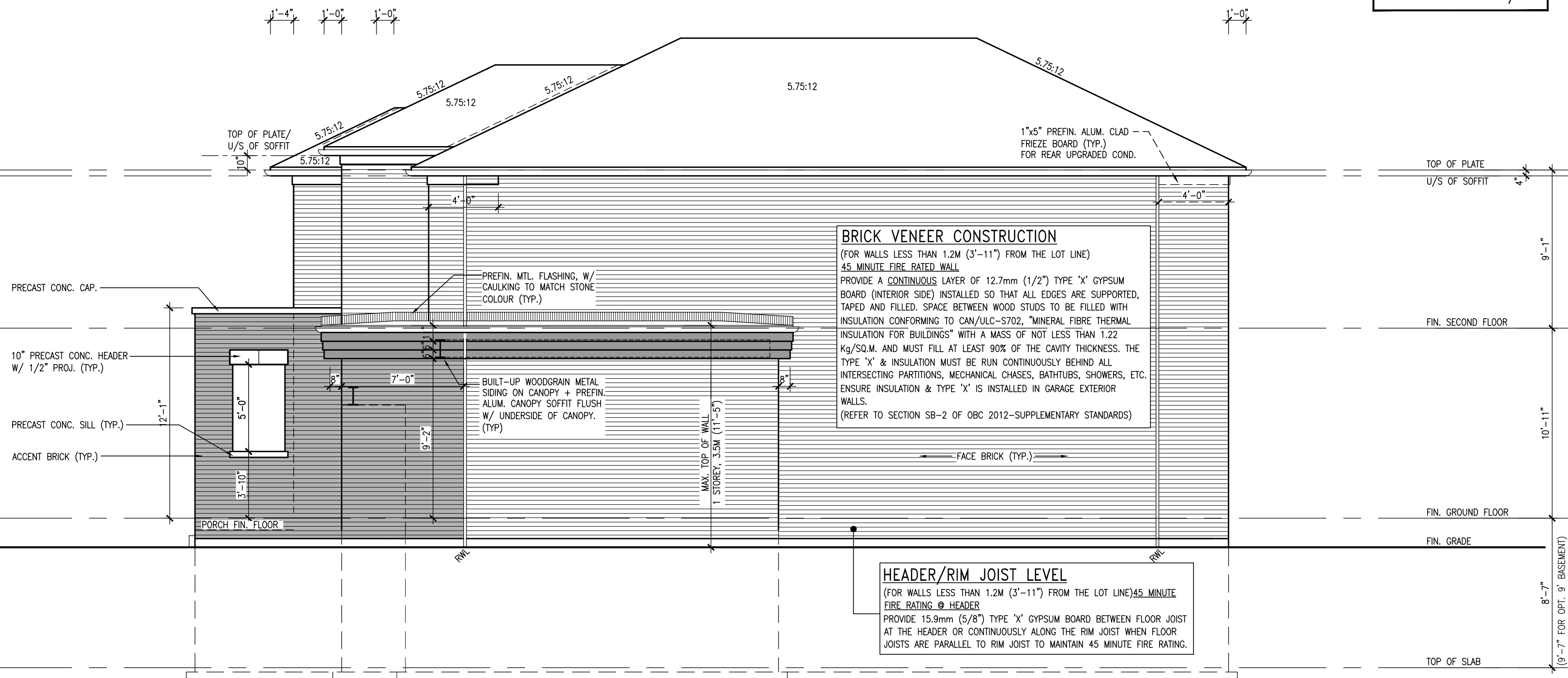
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.



LEFT SIDE ELEVATION 'B'
(OPT. 10'-0" GROUND FLR. CEILING)

NOTE:
REFER TO FRONT ELEV.
FOR TYPICAL NOTES

ALL BRICK-WORK TO
BE PROJECTED 1/2"

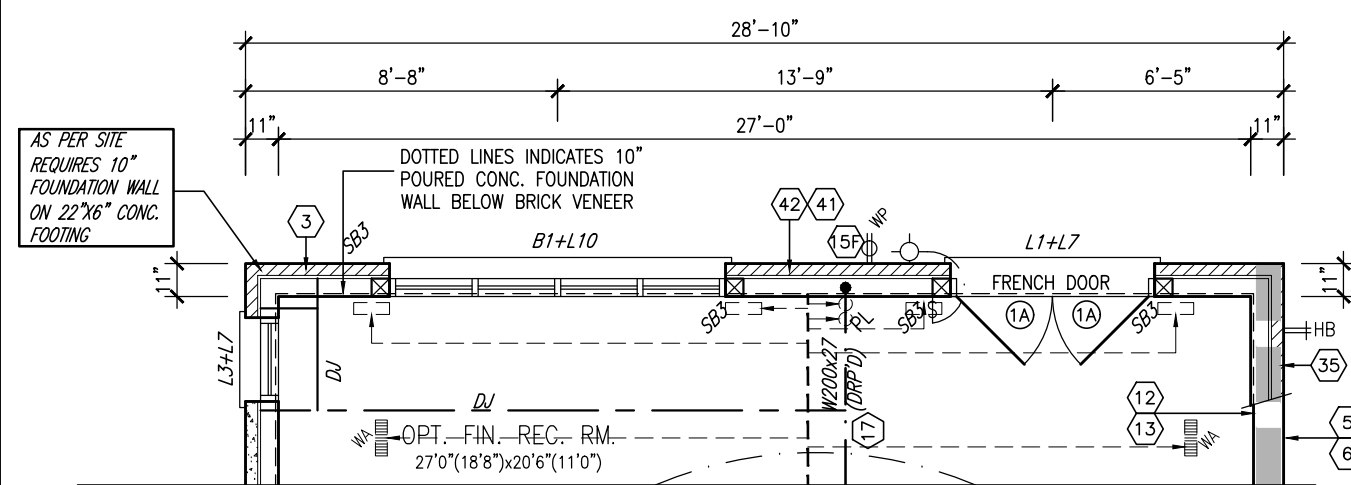


RIGHT SIDE ELEVATION 'B'
(OPT. 10'-0" GROUND FLR. CEILING)

9	.	.	.
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7	.	.	.
6	.	.	.
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS	
4	ISSUED FOR PERMIT	APR.19/23 SR	
3	ISSUED FOR PERMIT	MAR.14/23 JM	
2	ISSUED FOR CLIENT REVIEW	FEB. 10/22 NH	
1	ISSUED FOR CLIENT REVIEW	AUG. 13/21TP	
no.	description	date	by
<div><div><div>VAD3</div><div>DESIGN</div></div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div>			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
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<div><div>FIELDGATE HOMES</div><div>project name MIL CON THREE municipality MILTON, ONTARIO unit name THE GRASSLANDS project no. 14032 unit no. MC36-5 (FORMERLY SV36-9)</div></div>			
<div><div>LEFT & RIGHT SIDE ELEV. 'B'</div><div>date 2021-10 drawn by WT/JM</div><div>scale 3/16" = 1'-0" checked by .</div><div>drawing no. 16</div></div>			
20021_TYPOLOGY-SAMPLE PLANS			

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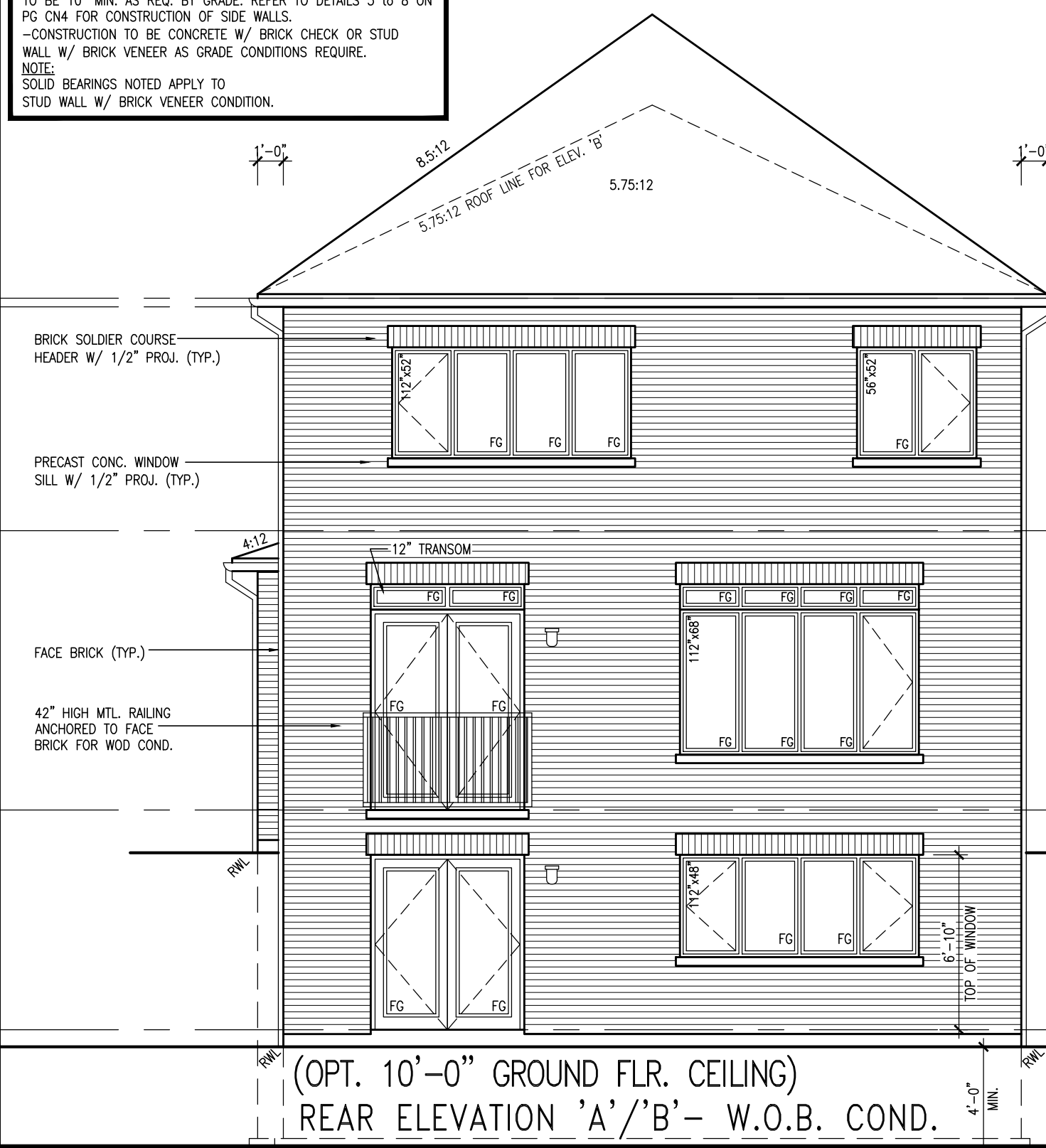


WALK OUT BASEMENT COND.
FOR WALK OUT BASEMENT COND. SIDE & REAR FOUNDATION WALLS
TO BE 10" MIN. AS REQ. BY GRADE. REFER TO DETAILS 5 to 8 ON
PG CN4 FOR CONSTRUCTION OF SIDE WALLS.
-CONSTRUCTION TO BE CONCRETE W/ BRICK CHECK OR STUD
WALL W/ BRICK VENEER AS GRADE CONDITIONS REQUIRE.
NOTE:
SOLID BEARINGS NOTED APPLY TO
STUD WALL W/ BRICK VENEER CONDITION.

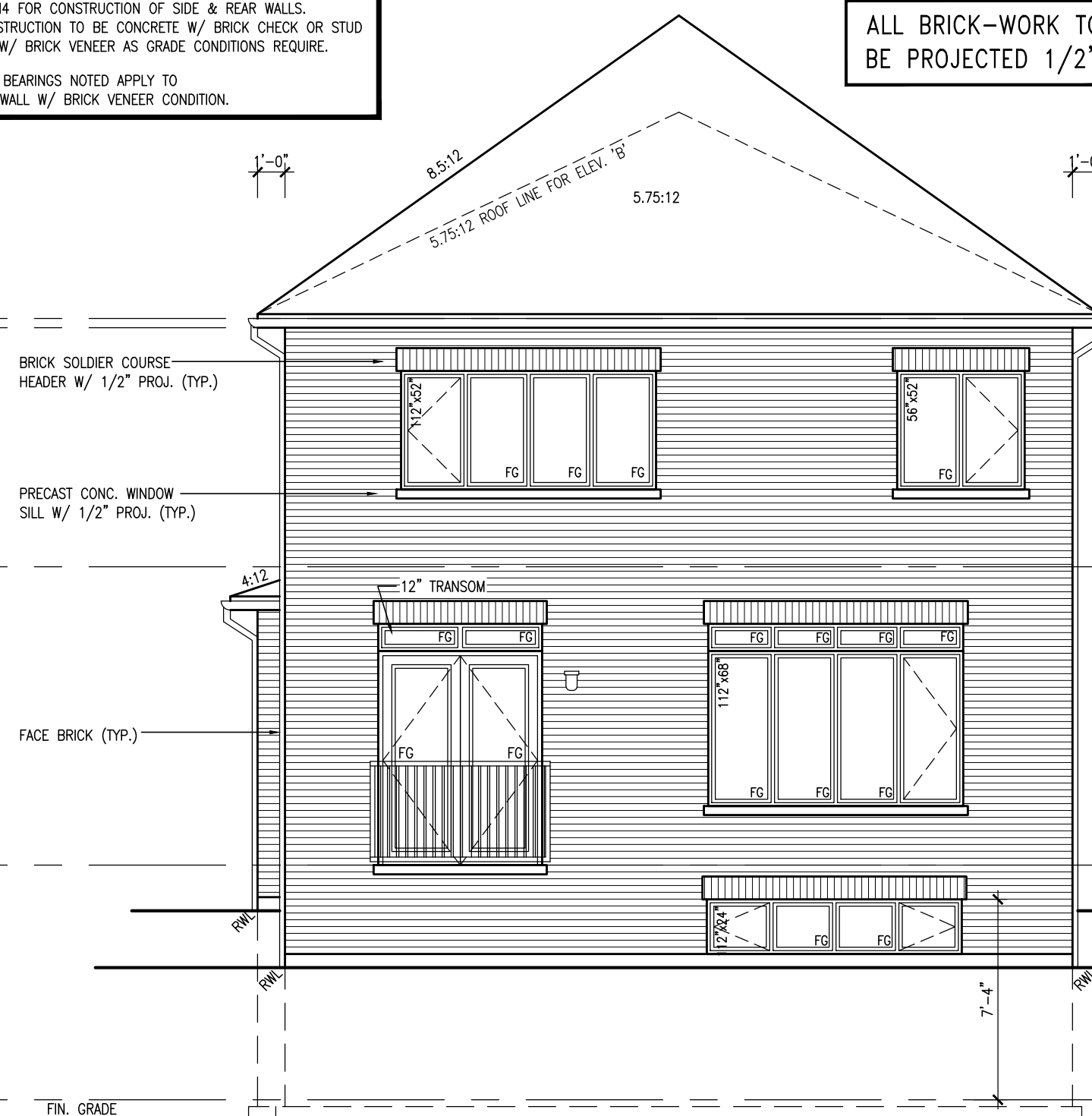
WALK OUT DECK COND.
FOR WALK OUT DECK COND. REFER TO DETAILS 2 TO 8 ON
PG CN4 FOR CONSTRUCTION OF SIDE & REAR WALLS.
-CONSTRUCTION TO BE CONCRETE W/ BRICK CHECK OR STUD
WALL W/ BRICK VENEER AS GRADE CONDITIONS REQUIRE.
NOTE:
SOLID BEARINGS NOTED APPLY TO
STUD WALL W/ BRICK VENEER CONDITION.

NOTE:
REFER TO FRONT ELEV.
FOR TYPICAL NOTES

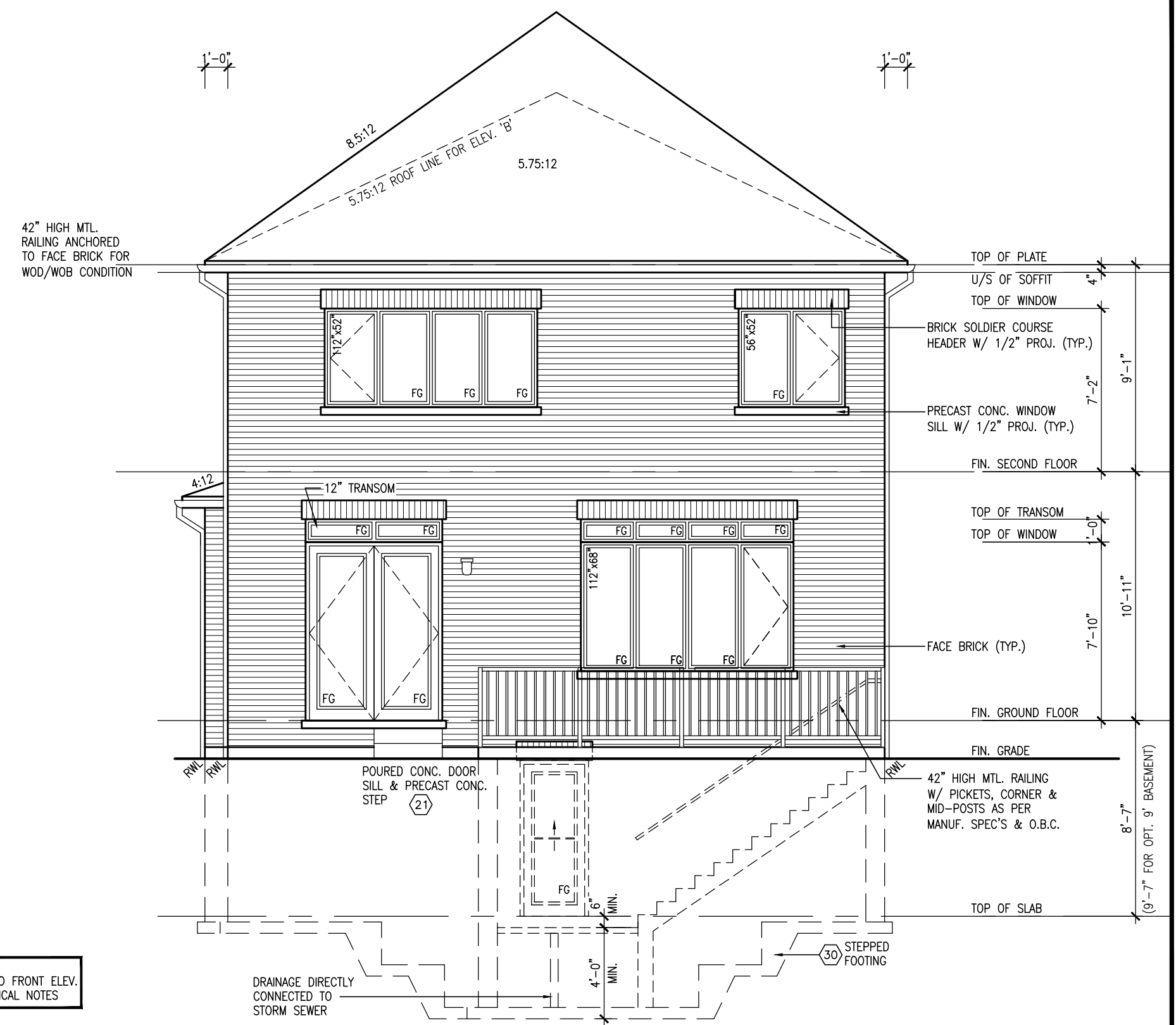
ALL BRICK-WORK TO
BE PROJECTED 1/2"



(OPT. 10'-0" GROUND FLR. CEILING)
REAR ELEVATION 'A'/'B'- W.O.B. COND.



REAR ELEVATION 'A'/'B' - W.O.B. COND.
(OPT. 10'-0" GROUND FLR. CEILING)



REAR ELEVATION 'A'/'B'
WALK-UP CONDITION
(OPT. 10'-0" GROUND FLR. CEILING)

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23	MS
4	ISSUED FOR PERMIT	APR.19/23	SR
3	ISSUED FOR PERMIT	MAR.14/23	JM
2	ISSUED FOR CLIENT REVIEW	FEB. 10/22	NH
1	ISSUED FOR CLIENT REVIEW	AUG. 13/21	TP
no.	description	date	by



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FIELDGATE HOMES

project name

MIL CON THREE

municipality

MILTON, ONTARIO

unit name
THE GRASSLANDS

THE GRASSLANDS

(FORMERLY SV36-9)

W O R W O R

W.O.B., W.O.D.,
date

2021-10	3/16" = 1
---------	-----------

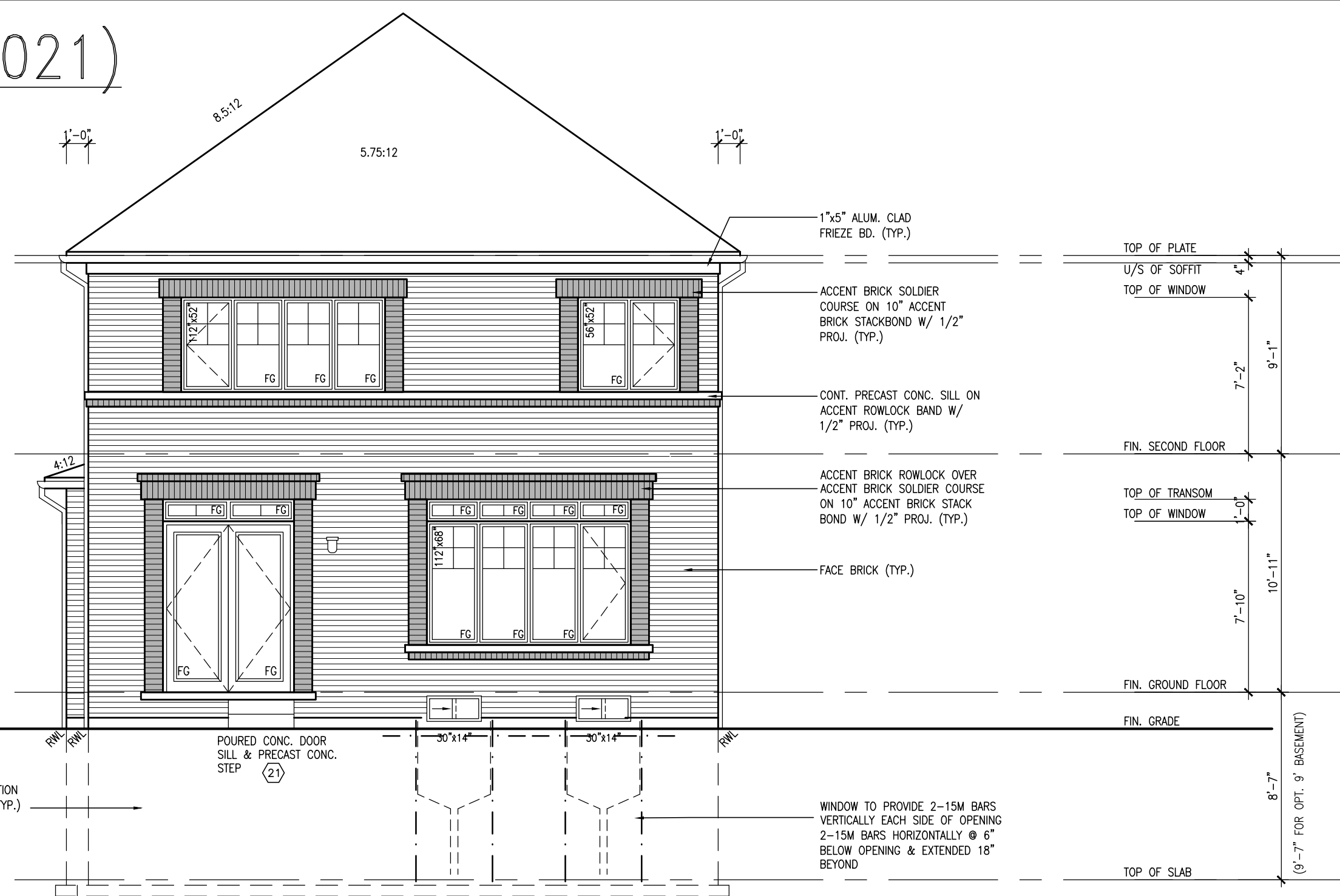
WT/JM	.
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20021 TYPOLOGY-SAMPLE P

FOR GEORGETOWN 36' SINGLE (#20021)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

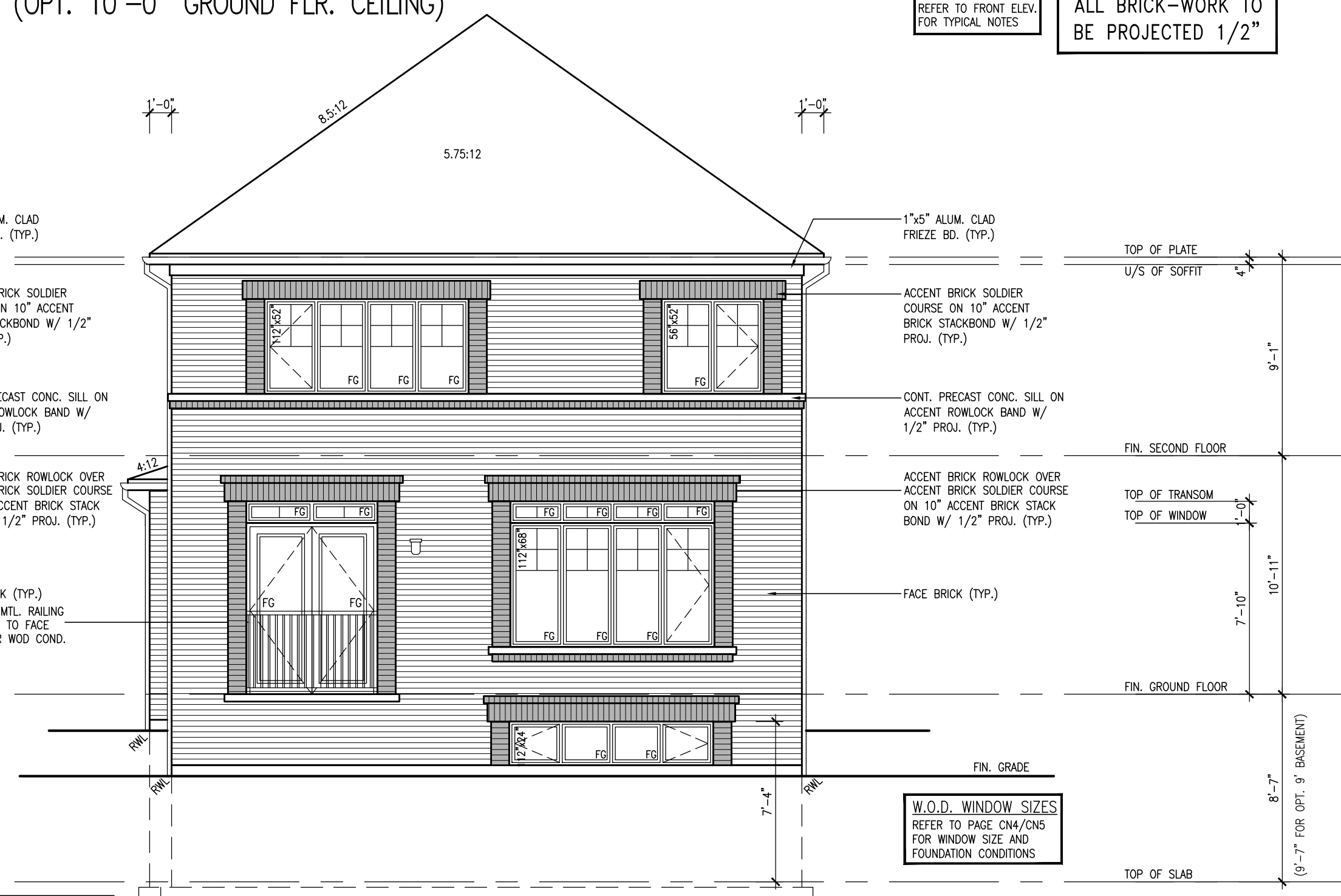
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.



REAR UPGRADE ELEVATION 'A'
(OPT. 10'-0" GROUND FLR. CEILING)

NOTE:
REFER TO FRONT ELEV.
FOR TYPICAL NOTES

ALL BRICK-WORK TO
BE PROJECTED 1/2"



REAR ELEVATION 'A' - W.O.D. COND.
(OPT. 10'-0" GROUND FLR. CEILING)

W.O.D. WINDOW SIZES
REFER TO PAGE CN4/CN5
FOR WINDOW SIZE AND
FOUNDATION CONDITIONS



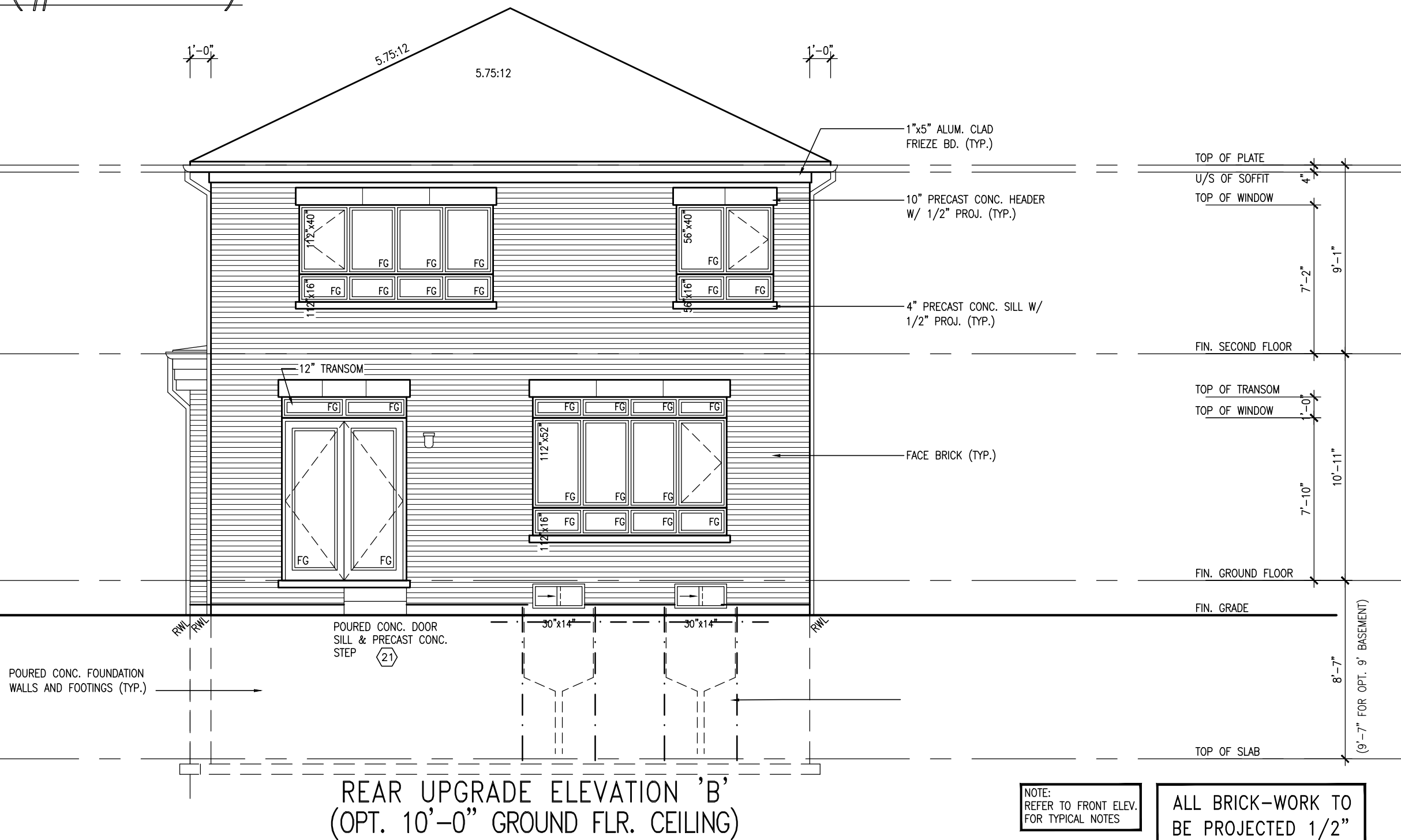
REAR ELEVATION 'A' - W.O.B. COND.
(OPT. 10'-0" GROUND FLR. CEILING)

9			
8			
7			
6			
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23	NS
4	ISSUED FOR PERMIT	APR.19/23	SR
3	ISSUED FOR PERMIT	MAR.14/23	JM
2	ISSUED FOR CLIENT REVIEW	FEB. 10/22	NH
1	ISSUED FOR CLIENT REVIEW	AUG. 13/21	TP
no.	description	date	by
<div><div>VAD3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div>			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
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<div><div>FIELDGATE</div><div>HOMES</div></div>			
project name MIL CON THREE			
municipality MILTON, ONTARIO			
unit name THE GRASSLANDS		project no. 14032	
(FORMERLY SV36-9)		unit no. MC36-5	
REAR ELEVATIONS (REAR UPGRADED)			
date 2021-10	scale 3/16" = 1'-0"	drawing no. 18	
drawn by WT/JM	checked by	file name 20021_TYPOLOGY-SAMPLE PLANS	

FOR GEORGETOWN 36' SINGLE (#20021)

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.



NOTE:
REFER TO FRONT ELEV.
FOR TYPICAL NOTES

ALL BRICK-WORK TO
BE PROJECTED 1/2"



W.O.D. WINDOW SIZES
REFER TO PAGE CN4/CN5
FOR WINDOW SIZE AND
FOUNDATION CONDITIONS

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23	NS
4	ISSUED FOR PERMIT	APR.19/23	SR
3	ISSUED FOR PERMIT	MAR,14/23	JM
2	ISSUED FOR CLIENT REVIEW	FEB. 10/22	NH
1	ISSUED FOR CLIENT REVIEW	AUG. 13/21	TP
no.	description	date	by



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FIELDGATE HOMES

project name
MIL CON THREE
municipality
MILTON, ONTARIO

unit name	project no.
THE GRASSLANDS	14032

(FORMERLY SV36-9) **MC36-5** unit no.

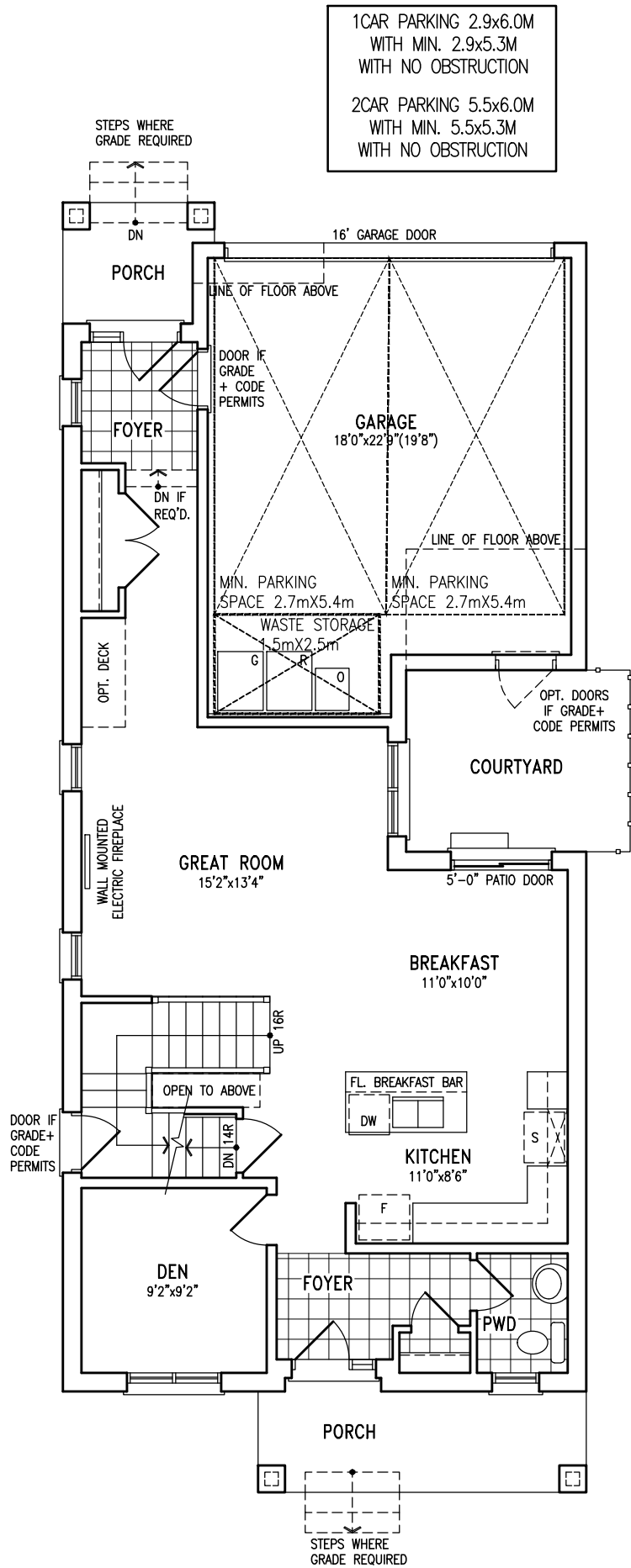
REAR ELEVATIONS (REAR UPGRADED)^{title}

date 2021-10	scale 3/16" = 1'-0"	drawing no. 10
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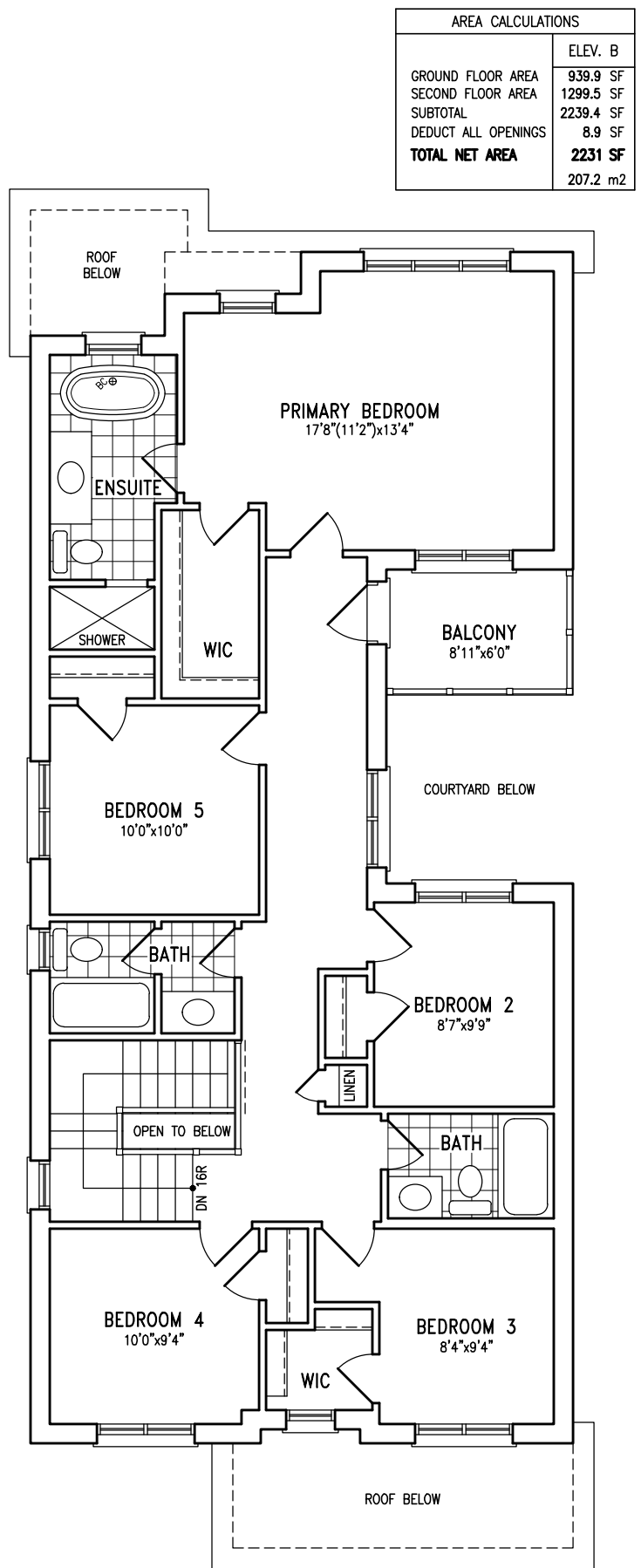
drawn by
WT/JM

20021_TYPOLOGY-SAMPLE PLANS	file name	SALES
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FOR GEORGETOWN 32' DUAL FRONTING SINGLE (#20021)



GROUND FLOOR PLAN



SECOND FLOOR PLAN

7	.	.	.
6	.	.	.
5	.	.	.
4	.	.	.
3	.	.	.
2	.	.	.
1	.	.	.
no.	description	date	by

FIELDGATE HOMES

GEORGETOWN, ONTARIO

project no.
20021

area summary (sq ft)

2231 SF

date
2024-11

drawn by
ARM

file name	FILE PLING
-----------	------------

unit name
—unit number
8M)

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SALEENA RATTANSI - G:\ARCHIVE\DESIGN\2020\20021.FIE\20021_TYPOLOGY-sample plans.dwg - Tue - Jan 21 2025 - 10:20 AM

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FOR GEORGETOWN 32' DUAL FRONTING SINGLE (#20021)

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FRONT ELEVATION 'B'



REAR ELEVATION 'B'

TOP OF PLATE
U/S OF SOFFIT
TOP OF WINDOW

FIN. SECOND FLOOR
TOP OF WINDOW

FIN. GROUND FLOOR
FINISH GRADE

FIELDGATE HOMES

10365 GORE DEVELOPMENTS LIMITED
BRAMPTON, ONTARIO

project no.
21019

revisions

no.	description	date	by
7			
6			
5			
4			
3			
2			
1			

date
JULY 2023

drawn by
ARM

file name
20021_TYPOLOGY-SAMPLE PLANS

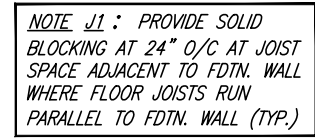
unit name
1

unit number
DF32

area summary (sq ft)

SALEENA BRATTANSI - G:\ARCHIVE\DESIGN 2020\20021.FE\20021_TYPOLOGY-sample plans.dwg -- Tue -- Jan 21 2025 -- 10:20 AM

INDICATES REDUCED
SIDE YARD CONDITION



NOTE : REINFORCEMENT BARS

- * PROVIDE 2-15M HORIZONTAL REINFORCING EACH SIDE FACE OF FOUNDATION WALL AND 4" BELOW WINDOW OPENING, EXTEND BARS 24" BEYOND OPENING EACH WAY
- * PROVIDE 2-15M VERTICAL REINFORCING EACH SIDE FACE OF FOUNDATION WALL AND WINDOW OPENING FROM TOP OF FOOTING TO 2" BELOW TOP OF FOUNDATION WALL
- * BARS TO HAVE MIN. 2" CONCRETE COVER

<u>AREA CALCULATIONS</u>	<u>ELEV. A</u>	<u>ELEV. B</u>
GROUND FLOOR AREA	936 SF	936 SF
SECOND FLOOR AREA	1178 SF	1178 SF
SUBTOTAL	2114 SF	2114 SF
DEDUCT ALL OPEN AREAS	0 SF	0 SF
TOTAL NET AREA	2114 SF (196.40 m2)	2114 SF (196.40 m2)
OPT. FINISHED BSMT AREA	736.98 SF	736.98 SF
COVERAGE	1182 SF	1182 SF
W/OUT PORCH	(109.81 m2)	(109.81 m2)
COVERAGE	1264 SF	1265 SF
W/ PORCH	(117.43 m2)	(117.52 m2)

<u>OUTDOOR AIR INTAKE SEPARATION</u>	
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.	
• KITCHEN EXHAUST.	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KIT-EX-NOTE=2020.dwg

NOTE: FW
2"x6" @ 16" O.C. STUD MECHANICAL WALL
3/8" ASPENITE SHEATHING
2"x6" @ 16" O.C. STUDS W/ MIN. R24 INSULATION
1/2" DRYWALL FINISH TAPED & SEALED GASPROOF

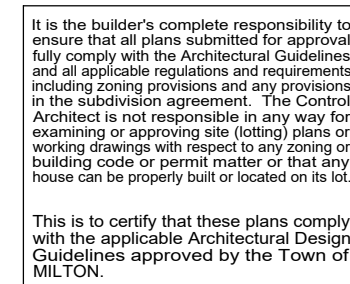
SOIL TO HAVE MIN. 150 kPa BEARING CAPACITY
FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6

FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" WEATHER
PROOFED O.S.B. & TO BE GLUED & NAILED

NOTE: PORCH POSTS
BUILT-UP PORCH POSTS SHALL BE SEPARATED
FROM THE CONC. SLAB W/ 0.05 MIL POLY OR
TYPE 'S' ROLL ROOFING.

NOTE:
FLOOR FRAMING INFO. REFER TO FLOOR TRUSS
MANUF. SHOP DRAWINGS FOR ALL TRUSS-JOIST
INFORMATION & DETAILS UNLESS OTHERWISE NO

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO
BE SPECIFIED BY THE FLOOR TRUSS MANUF.



9		-	-
8		-	-
7		-	-
6		-	-
5	ADD DIMENSION TO 3-PC ROUGH-IN TOILET DRAIN	JUNE 18/24	TF
4	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23	NS
3	ISSUED FOR PERMIT	APR. 19/23	SR
2	ISSUED FOR PERMIT	MAR. 13/23	JA
1	ISSUED FOR CLIENT REVIEW	FEB.05/22	NH
no.	description	date	by

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FIELDGATE HOMES

project name		MIL CON THREE	
municipality		MILTON, ONT.	
unit name	project no.	unit no.	
THE COASTLANDS	1403		
(FORMERLY K30-6)	MC30-4		
BASEMENT & GROUND FLOOR			10
date	scale	drawing no.	
AUGUST 2020	3/16" = 1'-0"	1	
drawn by	checked by		
NS			
202021_TYPOLOGY-SAMPLE PLANS		file name	

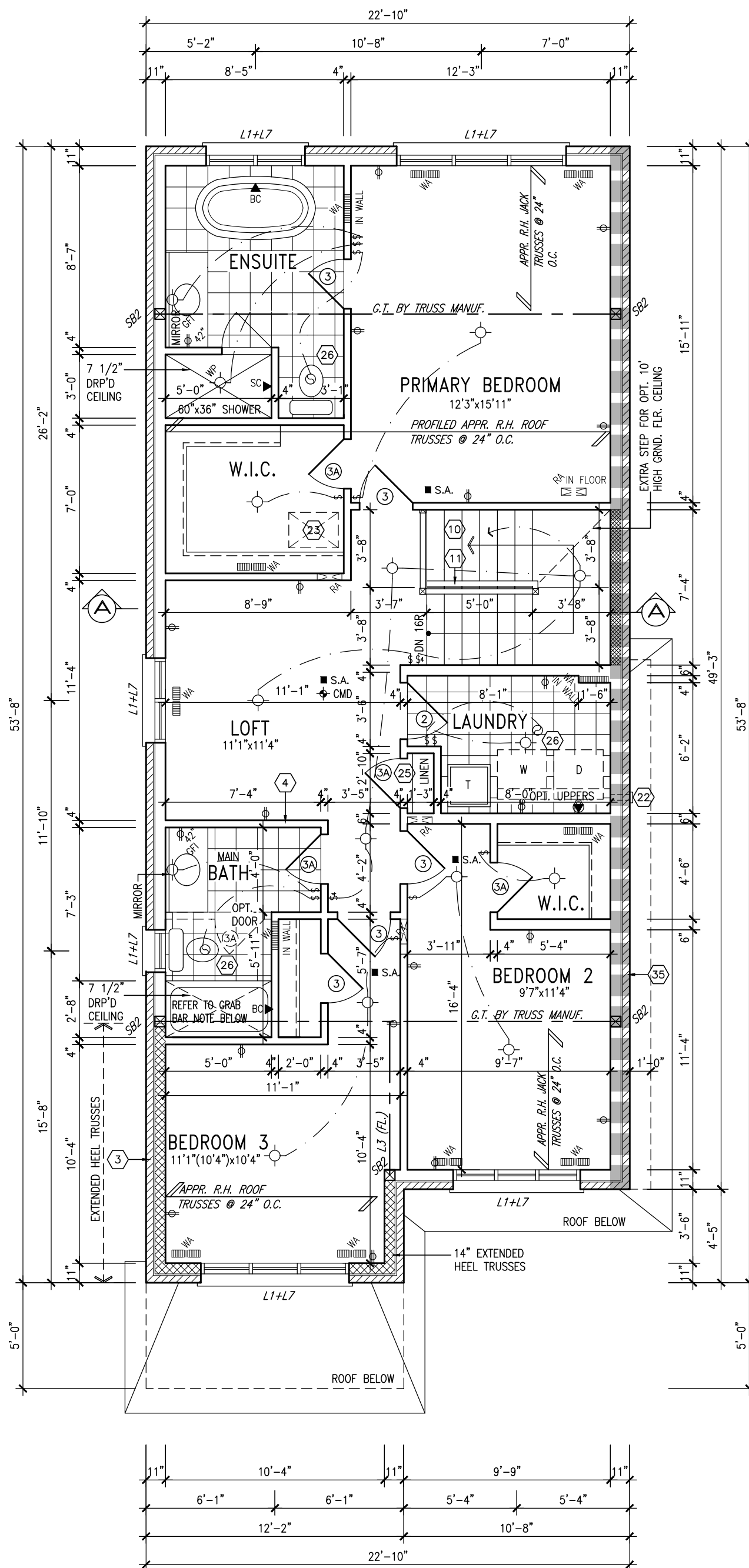
FOR GEORGETOWN 30' SINGLE (#20021)

NOTE:
REFER TO ROOF TRUSS SHOP DRAWINGS
/MANUFACTURER FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

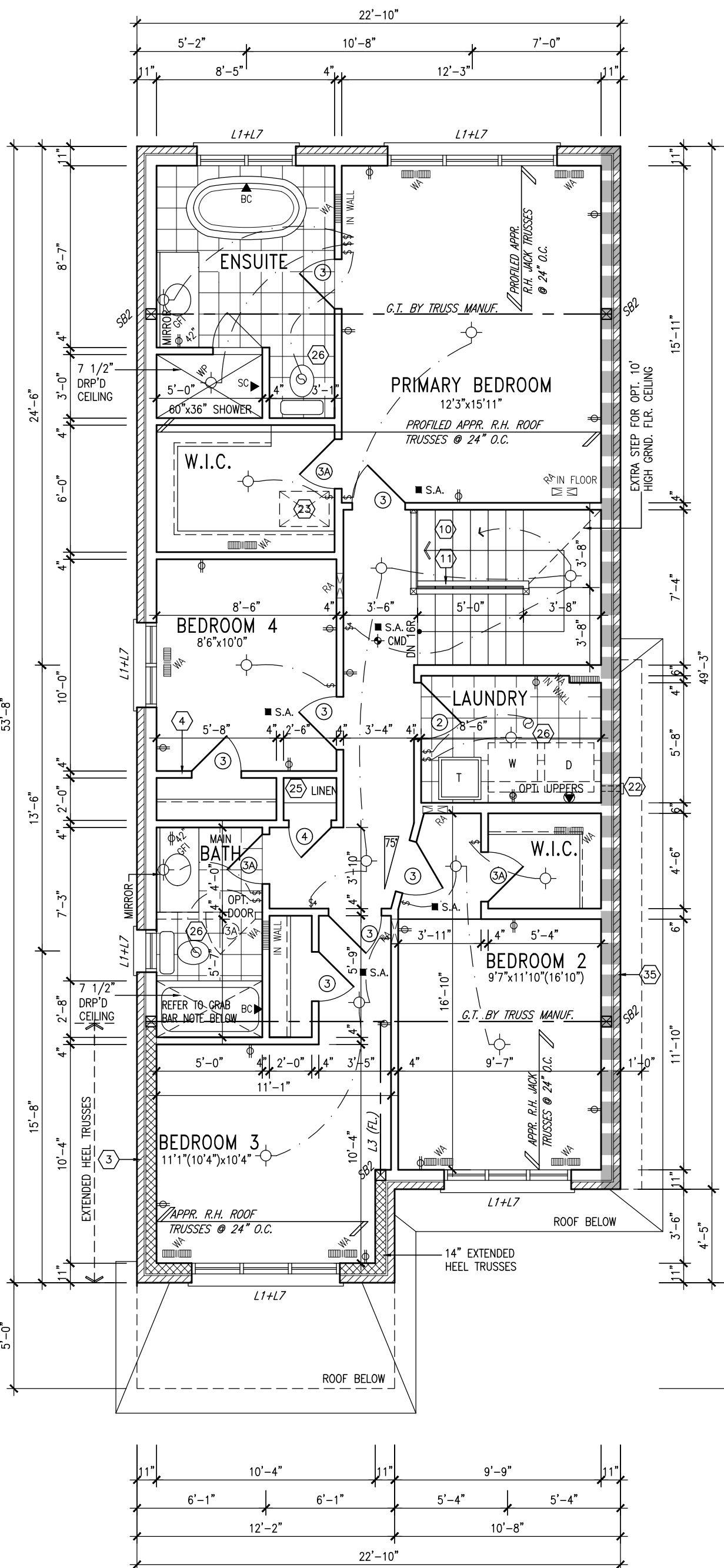
GRAB BAR NOTE:

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSET AND SHOWER OR
BATHUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED: WATER CLOSET: 3.8.3.8.(3)(g) & 3.8.3.8.(3)(c).
SHOWER: 3.8.3.13.(2)(g) & 3.8.3.13.(4)(g).
FREE STANDING BATHUB EXCLUDED. SEE DETAILS
PROVIDED. GB-NOTE-2020.400

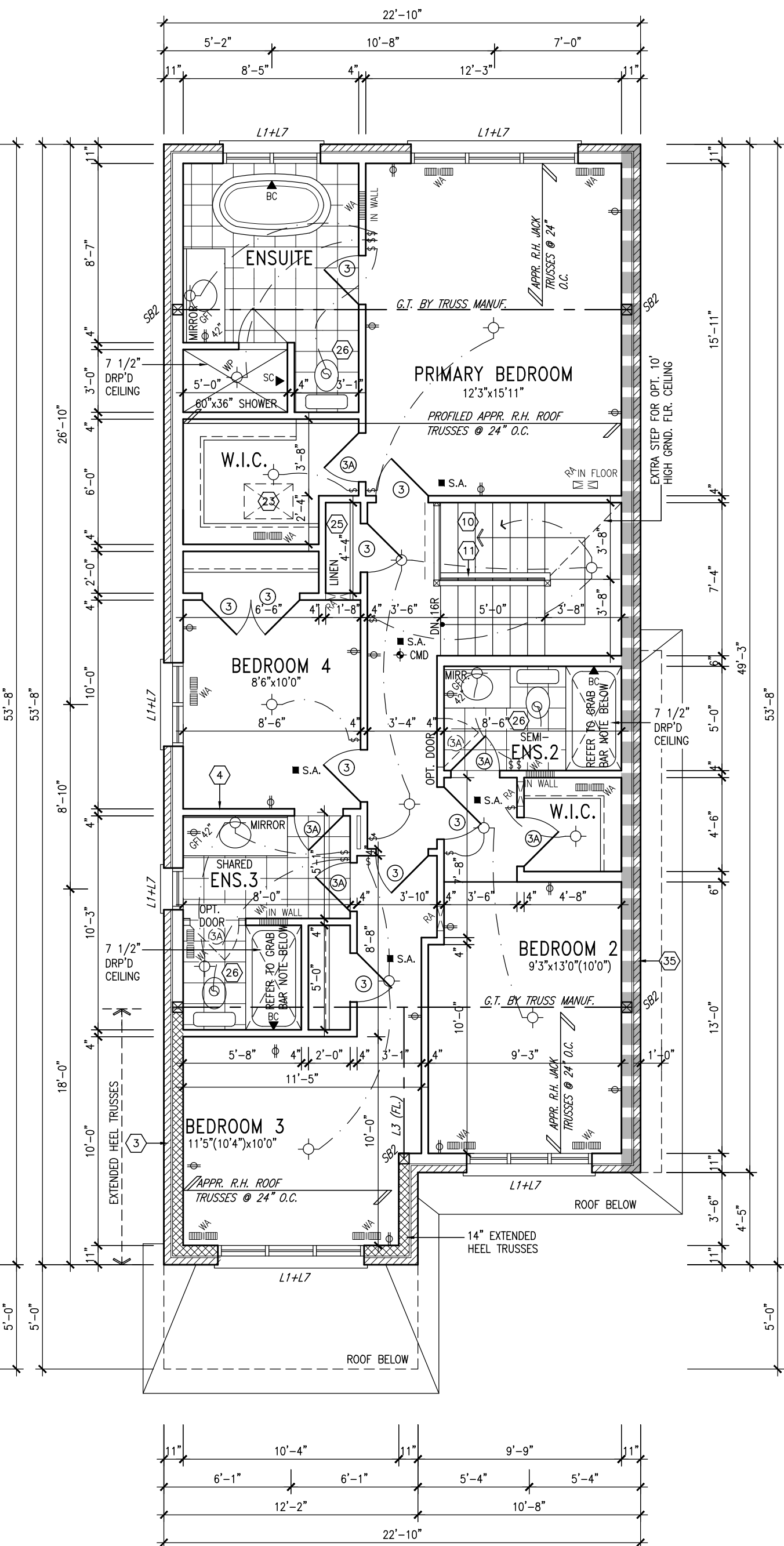
INDICATES REDUCED
SIDE YARD CONDITION



SECOND FLOOR PLAN 'A'



SECOND FLOOR PLAN 'A'
OPTIONAL 4 BEDROOM



SECOND FLOOR PLAN 'A'
OPTIONAL 4 BEDROOM & 3 BATH

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no.	description	date	by
4	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS	
3	ISSUED FOR PERMIT	APR. 19/23SR	
2	ISSUED FOR PERMIT	MAR. 13/23UM	
1	ISSUED FOR CLIENT REVIEW	FEB.05/22 NH	

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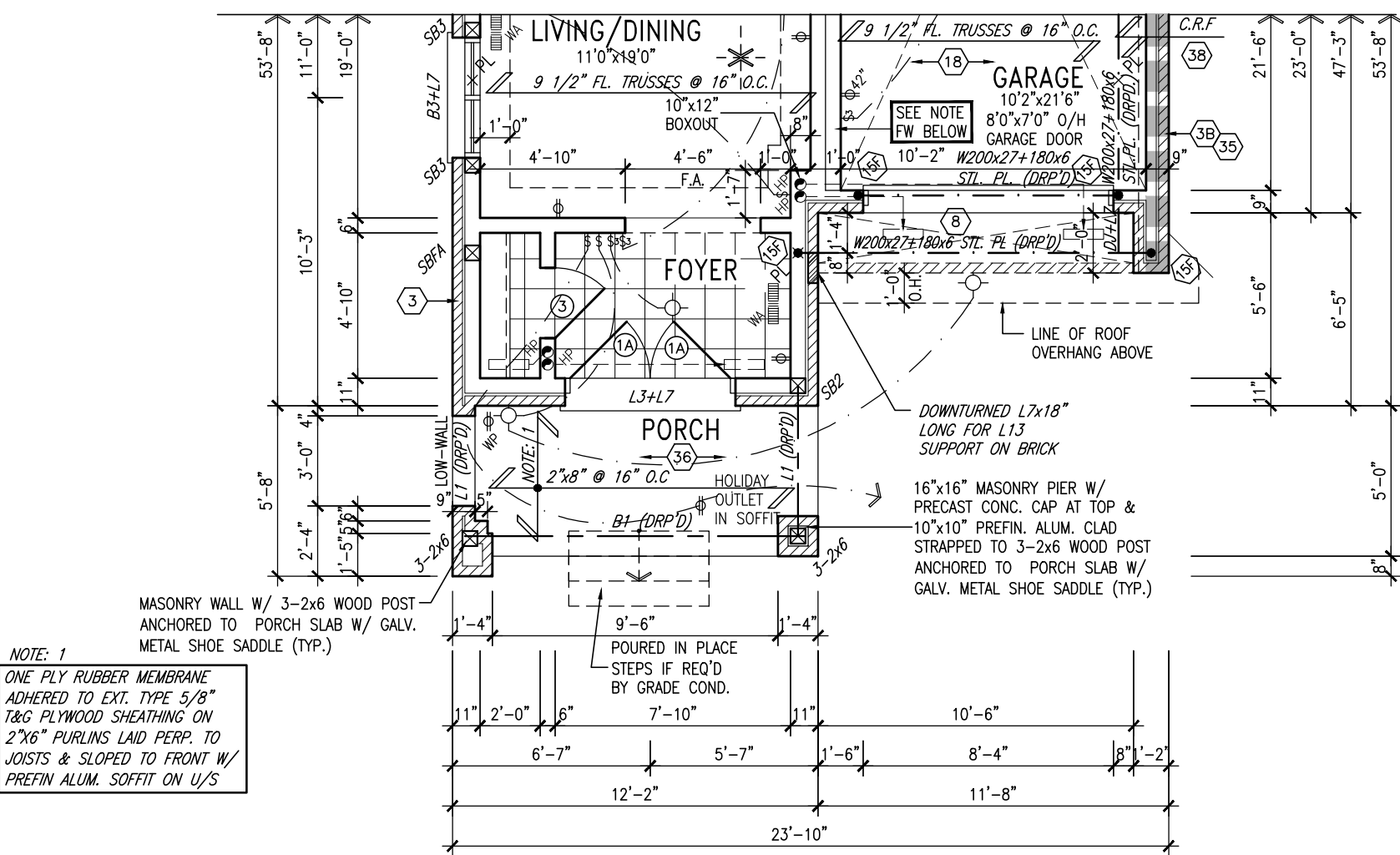
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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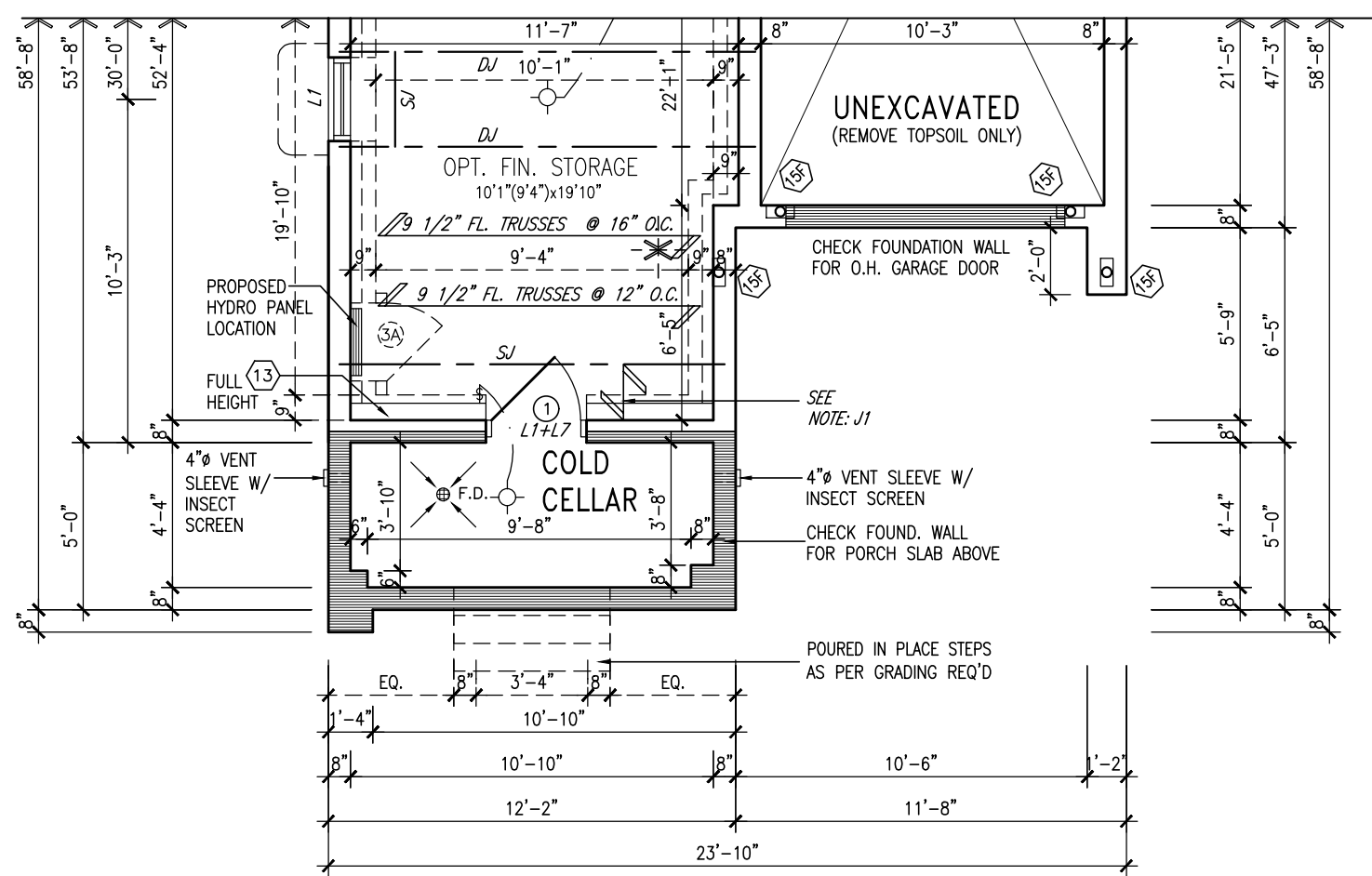
FIELDGATE HOMES

project name	MIL CON THREE
municipality	MILTON, ONT.
unit name	THE COASTLANDS
unit no.	14032
(FORMERLY K30-6)	MC30-4
SECOND FLOOR PLANS 'A'	
date	AUGUST 2020
scale	3/16" = 1'-0"
drawn by	NS
checked by	
file name	20021_TYPOLOGY-SAMPLE PLANS
drawing no.	2

FOR GEORGETOWN 30' SINGLE (#20021)

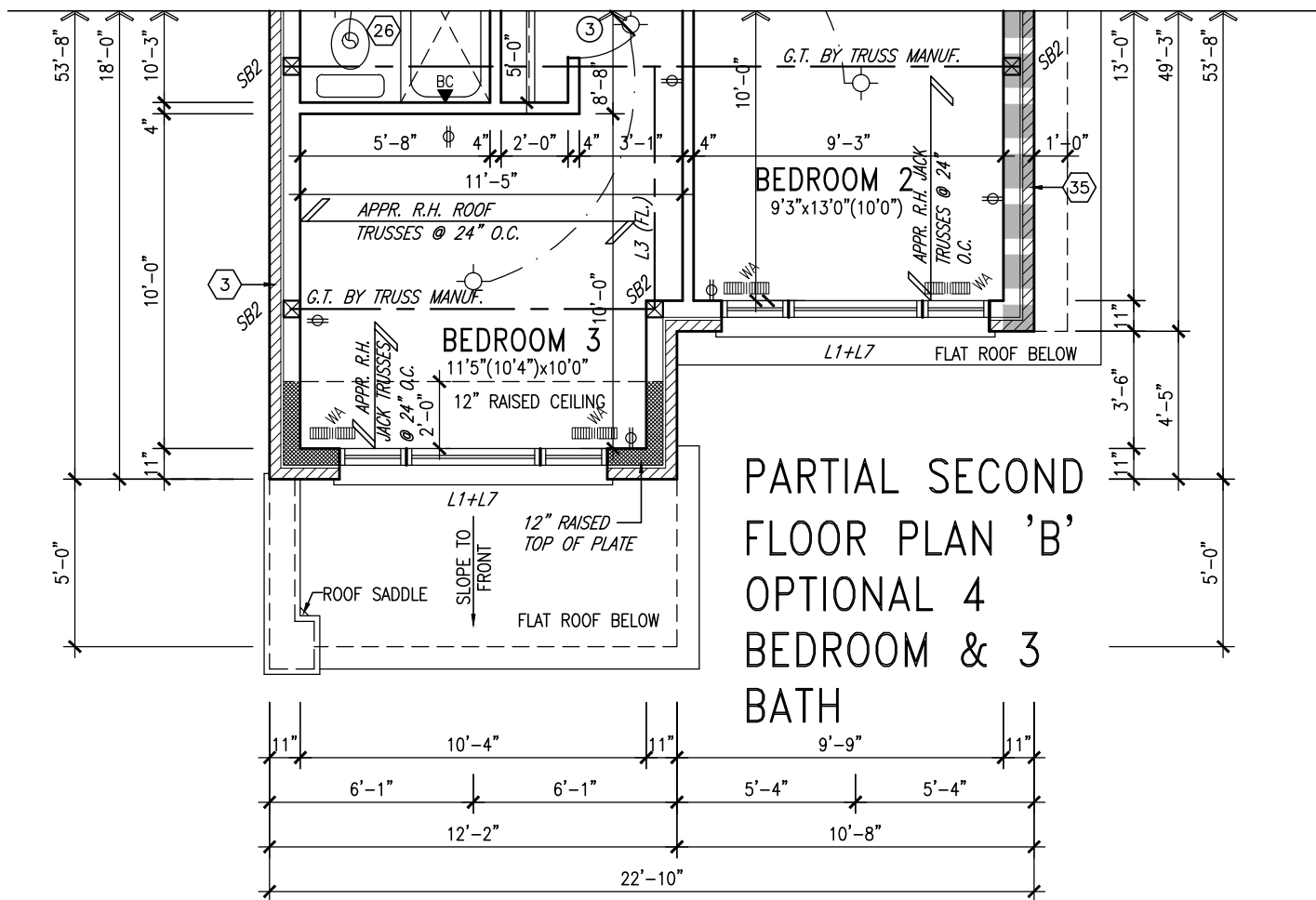


PARTIAL GROUND FLOOR PLAN 'B'

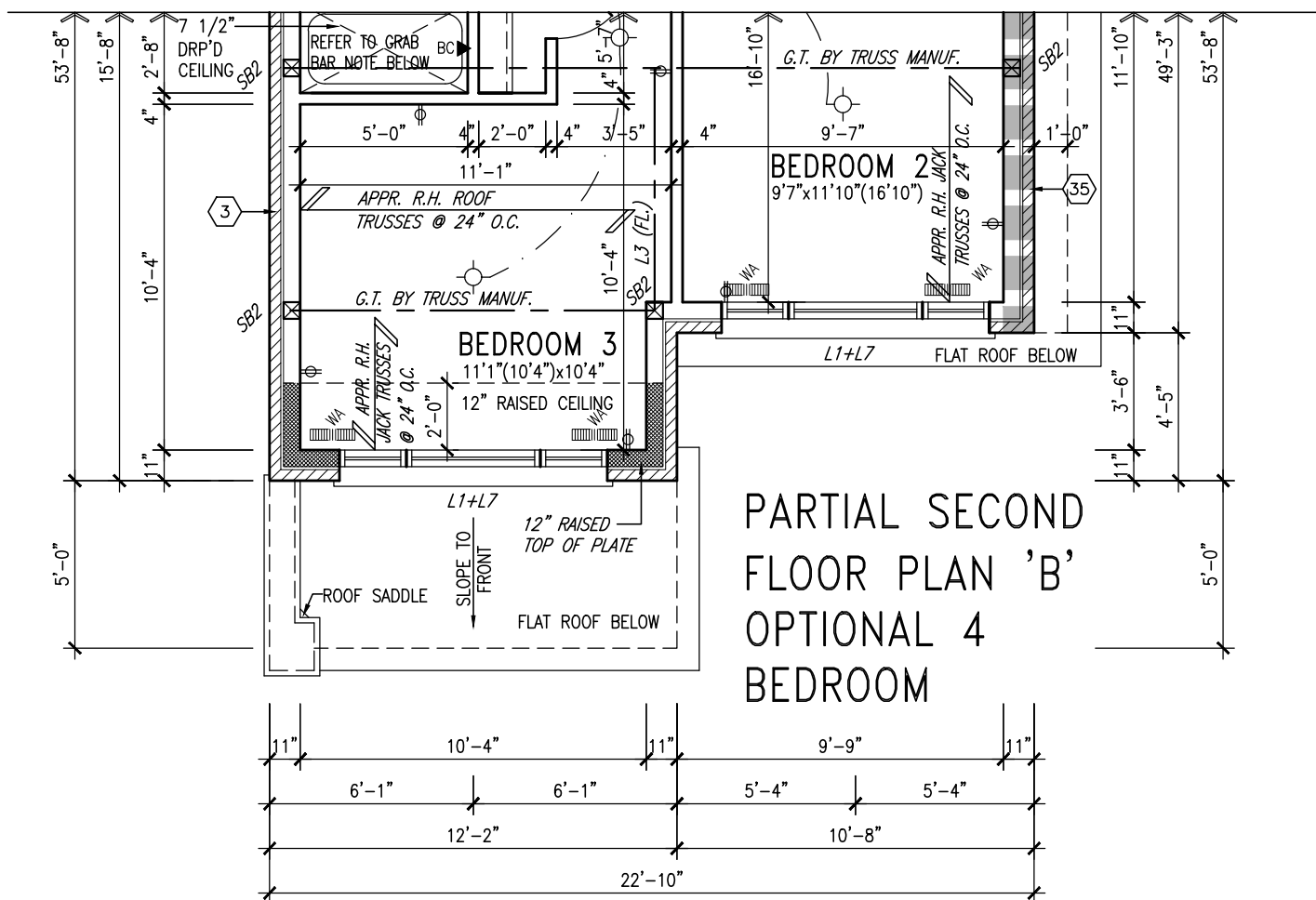


PARTIAL BASEMENT PLAN 'B'

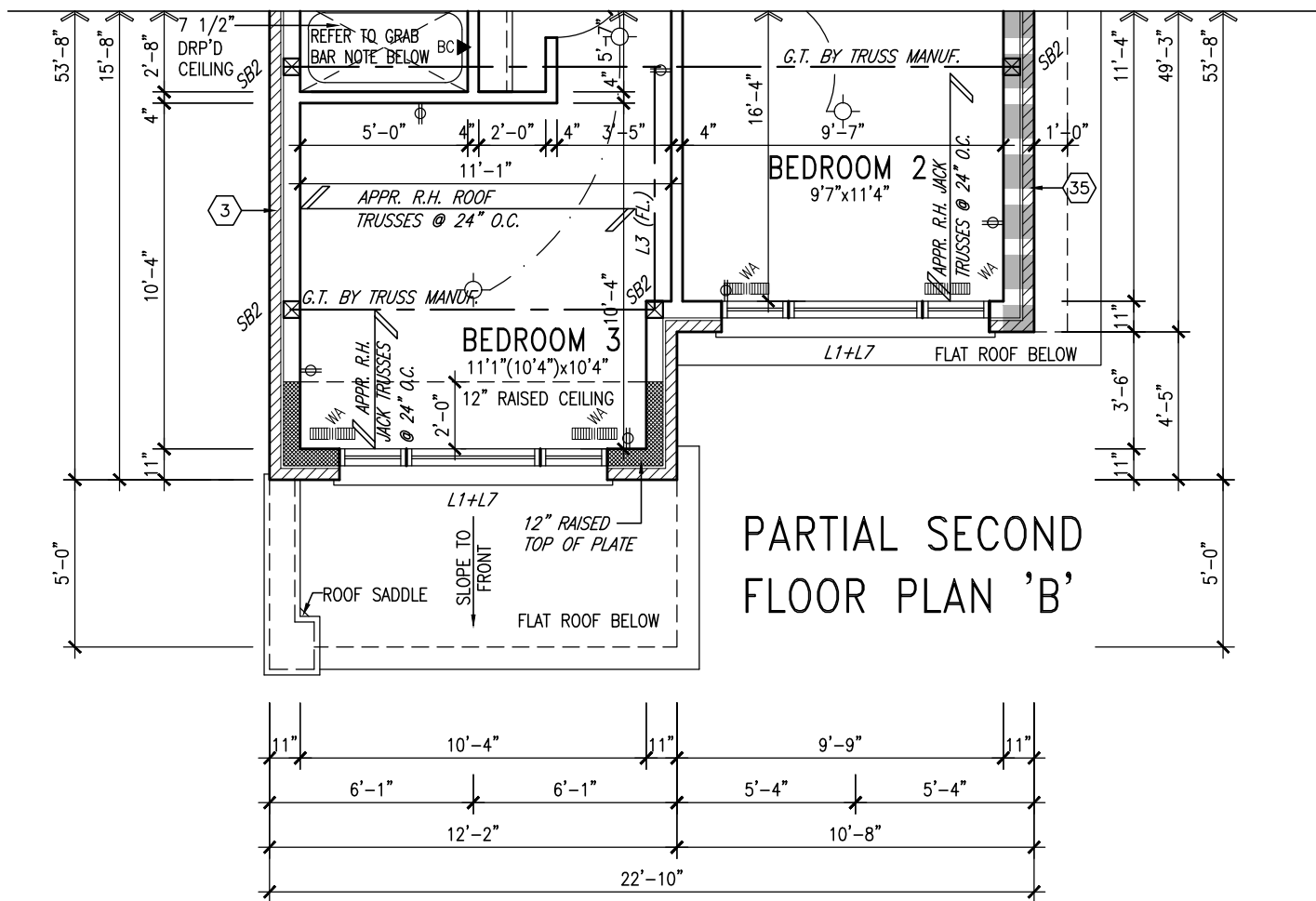
INDICATES REDUCED SIDE YARD CONDITION			
NOTE: F.W. 2"x6" @ 16" O.C. STUD MECHANICAL WALL 3/8" ASPENITE SHEATHING 2"x6" @ 16" O.C. STUDS W/ MIN. R24 INSULATION 1/2" DRYWALL FINISH TAPED & SEALED GASPROOF			
NOTE: PORCH POSTS BUILT-UP PORCH POSTS SHALL BE SEPARATED FROM THE CONC. SLAB W/ 0.05 MIL POLY OR TYPE 'S' ROLL ROOFING.			
SOIL TO HAVE MIN. 150 KPa BEARING CAPACITY FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6			
FLOOR SUBFLOORS ALL SUBFLOORS TO BE 3/4" WEATHER PROOFED O.S.B. & TO BE GLUED & NAILED			
OUTDOOR AIR INTAKE SEPARATION ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B - TABLE 6.2.3.12. • KITCHEN EXHAUST: 3.0m • DRIVEWAY, PARKING SPACE, ROAD: 1.5m • SOLID FUEL APPLIANCE EXHAUST: 3.0m KIT-EX-NOTE-2020.04g			
NOTE: REFER TO ROOF TRUSS SHOP DRAWINGS / MANUFACTURER FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.			
NOTE: FLOOR FRAMING INFO. REFER TO FLOOR TRUSS MANUF. SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION & DETAILS UNLESS OTHERWISE NOTED			
NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUF.			
GRAB BAR NOTE: STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER: 3.8.3.13.(2)(g). BATHTUB: 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED. GB-NOTE-2020.04g			
NOTE: J1: PROVIDE SOLID BLOCKING AT 24" O/C AT JOIST SPACE ADJACENT TO FDTN. WALL WHERE FLOOR JOISTS RUN PARALLEL TO FDTN. WALL (TYP.)			
NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.			



PARTIAL SECOND FLOOR PLAN 'B' OPTIONAL 4 BEDROOM & 3 BATH



PARTIAL SECOND FLOOR PLAN 'B' OPTIONAL 4 BEDROOM



PARTIAL SECOND FLOOR PLAN 'B'

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9			
8			
7			
6			
5			
4	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS	
3	ISSUED FOR PERMIT	APR. 19/23SR	
2	ISSUED FOR PERMIT	MAR. 13/23UM	
1	ISSUED FOR CLIENT REVIEW	FEB.05/22 NH	
no.	description	date	by

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FIELDGATE HOMES

project name
MIL CON THREE

municipality
MILTON, ONT.

unit name
THE COASTLANDS

project no.
14032

unit no.
MC30-4

(FORMERLY K30-6)

PARTIAL FLOOR PLANS 'B'

scale
3/16" = 1'-0"

date
AUGUST 2020

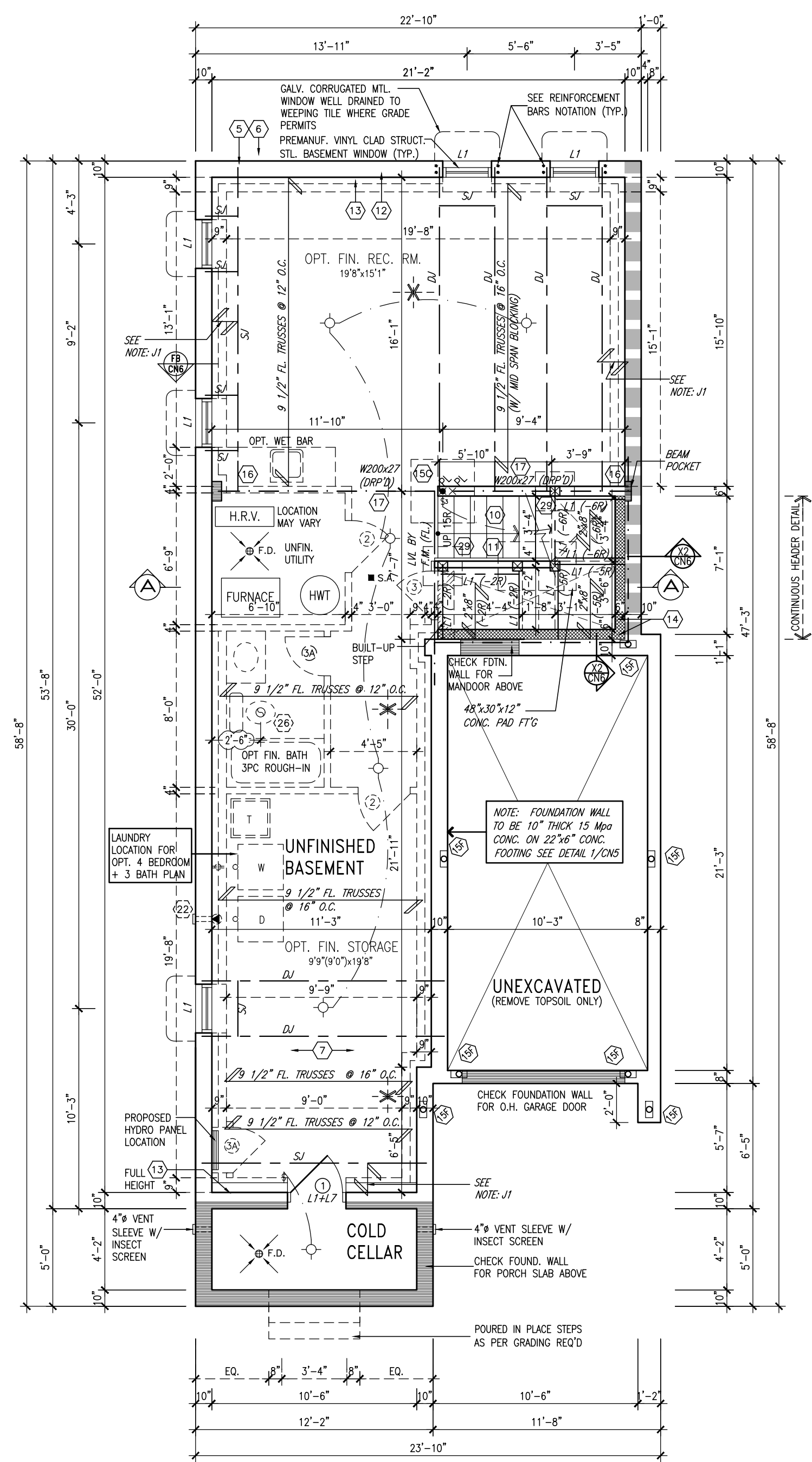
drawn by
NS

checked by

file name
2021_TYPOLOGY-SAMPLE PLANS

drawing no.
3

FOR GEORGETOWN 30' SINGLE (#20021)



BASEMENT PLAN 'A'
(OPT. 9'-0" POUR)
(OPT. FIN. BASEMENT: 720 SF)

CONTINUOUS HEADER DETAIL

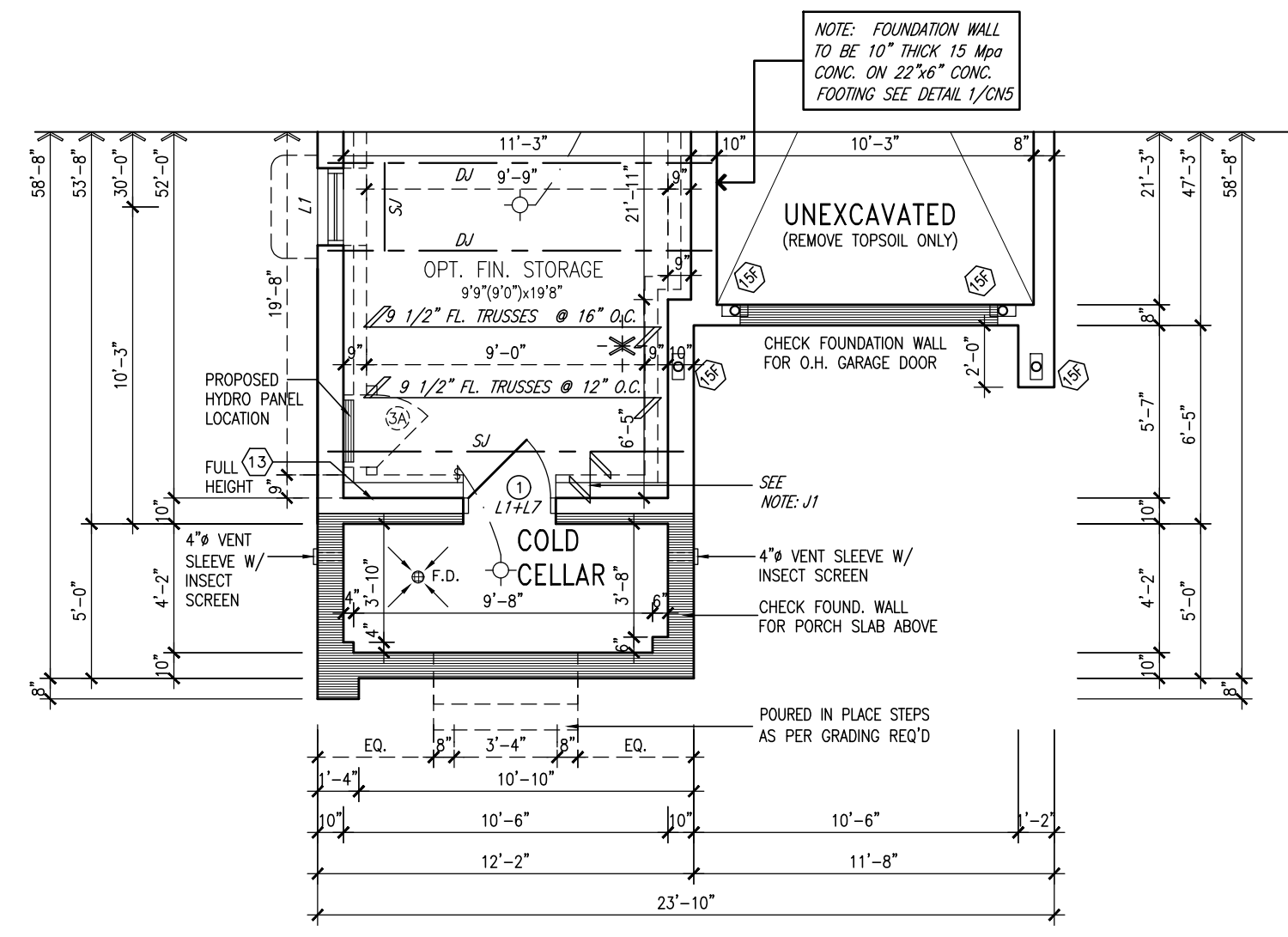
NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

INDICATES REDUCED SIDE YARD CONDITION

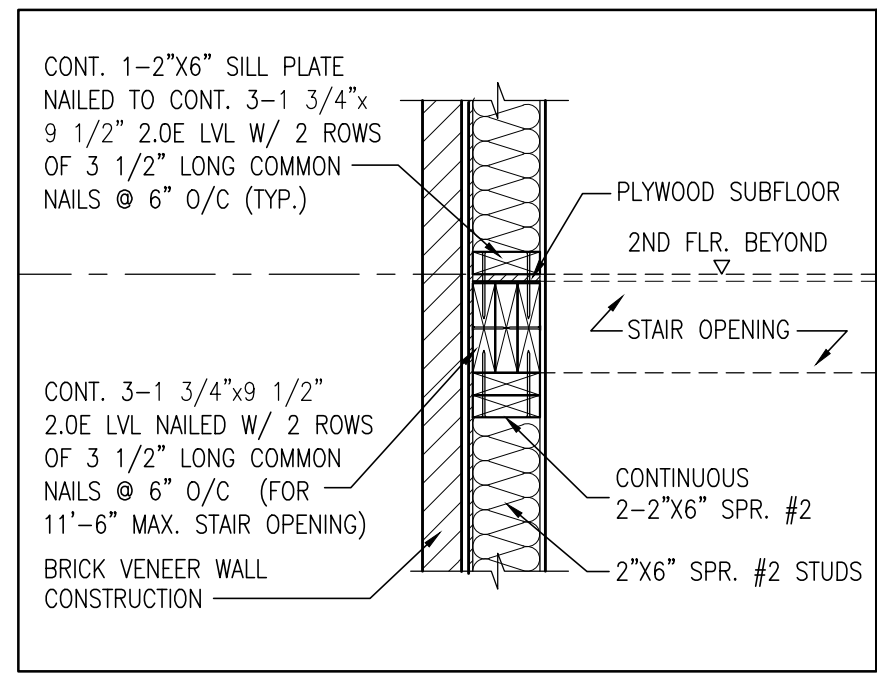
NOTE: PROVIDE SOLID BLOCKING AT 24" O/C AT JOIST SPACE ADJACENT TO FDN. WALL WHERE FLOOR JOISTS RUN PARALLEL TO FDN. WALL (TYP.)

NOTE: REINFORCEMENT BARS
* PROVIDE 2-15M HORIZONTAL REINFORCING EACH SIDE FACE OF FOUNDATION WALL AND 4" BELOW WINDOW OPENING, EXTEND BARS 24" BEYOND OPENING EACH WAY
* PROVIDE 2-15M VERTICAL REINFORCING EACH SIDE FACE OF FOUNDATION WALL AND WINDOW OPENING FROM TOP OF FOOTING TO 2" BELOW TOP OF FOUNDATION WALL
* BARS TO HAVE MIN. 2" CONCRETE COVER

SOIL TO HAVE MIN. 150 kPa BEARING CAPACITY FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.3.0.6	NOTE: FLOOR FRAMING INFO. REFER TO FLOOR TRUSS MANUF. SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION & DETAILS UNLESS OTHERWISE NOTED
FLOOR SUBFLOORS ALL SUBFLOORS TO BE 3/4" WEATHER PROOFED O.S.B. & TO BE GLUED & NAILED	NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUF.



PARTIAL BASEMENT PLAN 'B'
(OPT. 9'-0" POUR)
(OPT. FIN. BASEMENT: 720 SF)



SECTION AT EXT. WALL LATERAL SUPPORT AT STAIR OPENING

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5	ADD DIMENSION TO 3-PC ROUGH-IN TOILET DRAIN	JUNE 18/24TP	
4	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS	
3	ISSUED FOR PERMIT	APR. 19/23SR	
2	ISSUED FOR PERMIT	MAR. 13/23UM	
1	ISSUED FOR CLIENT REVIEW	FEB.05/22 NH	
no.	description	date	by

VAD3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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FIELDGATE HOMES			
project name	MIL CON THREE		
municipality	MILTON, ONT.		
unit name	project no.	14032	
THE COASTLANDS	unit no.	MC30-4	
(FORMERLY K30-6)			
PART. OPT. 9' BSMT. PLANS			
scale	3/16" = 1'-0"	drawing no.	4
drawn by	checked by	file name	
NS		20021_TYPOLOGY-SAMPLE PLANS	

The image displays architectural drawings for a two-story building, including exterior elevations and a cross-section. The drawings are detailed with dimensions, materials, and construction specifications.

Exterior Elevations:

- Left Elevation:** Shows a side view of the building with a gabled roof. The roof pitch is 8.5:12. The wall is labeled "FACE BRICK (TYP.)". The window is labeled "1'x5' ALUM. CLAD FRIEZE BOARD (TYP.)". The door is labeled "6'-0\"

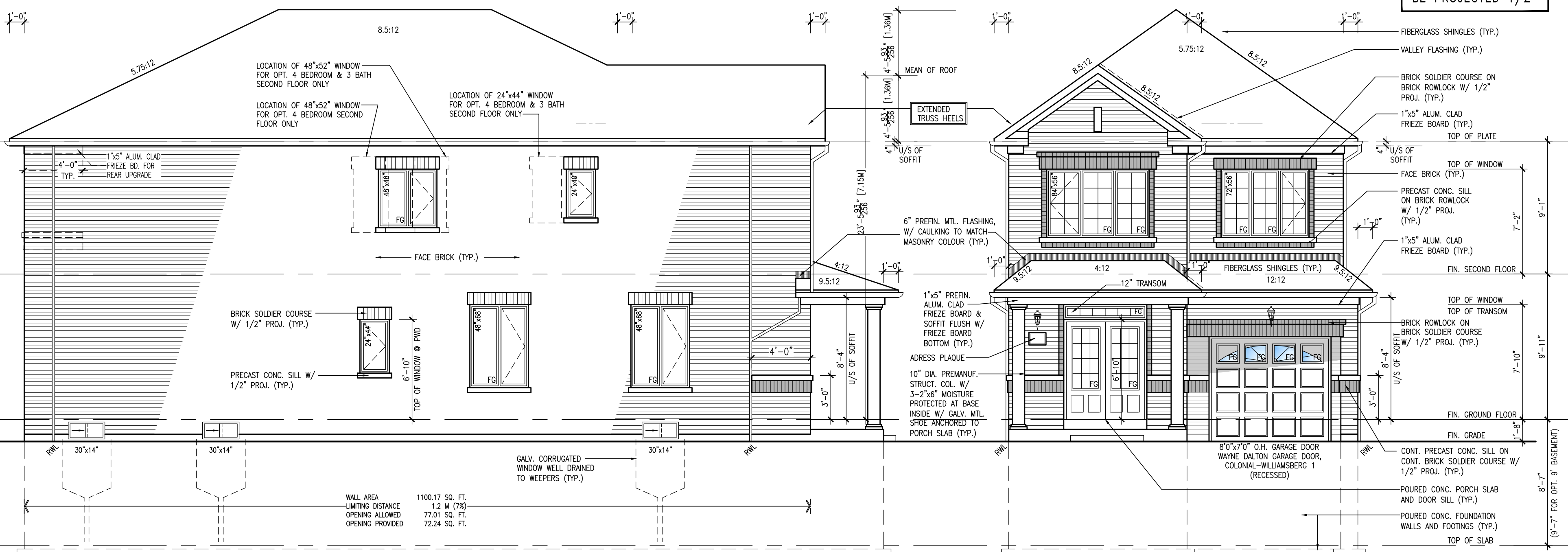
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REAR UPGRADE ELEVATION 'A'

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

ALL BRICK-WORK TO
BE PROJECTED 1/2"



FRONT ELEVATION 'A'

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4	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23	NS
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2	ISSUED FOR PERMIT	MAR. 13/23	UN
1	ISSUED FOR CLIENT REVIEW	FEB.05/22	NH
no	description	date	h

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FIELDGATE HOMES

project name
MIL CON THREE

MILTON, ONT.

unit name
THE COASTLA

(FORMERLY K30)

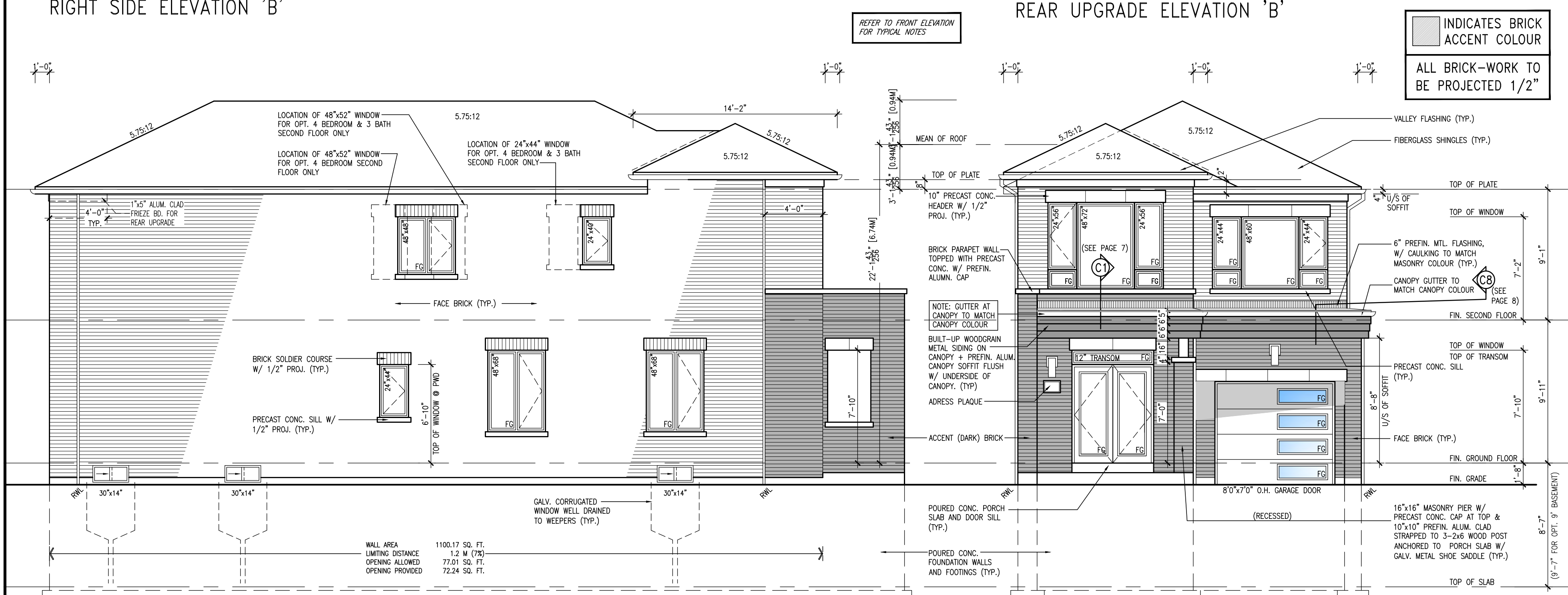
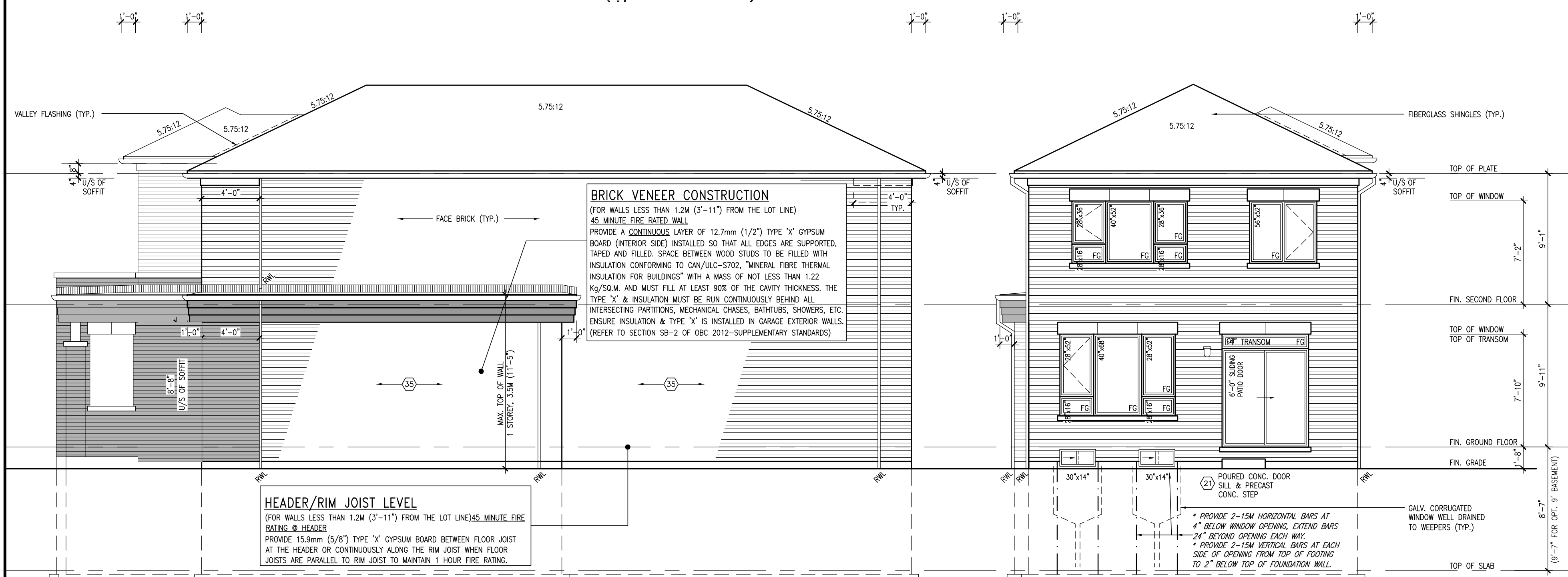
(FORMERLY K30)	
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date
AUGUST 2020

drawn by
NS

20021 TYPOLOGY-

FOR GEORGETOWN 30' SINGLE (#20021)



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3	ISSUED FOR PERMIT	APR. 19/23SR	
2	ISSUED FOR PERMIT	MAR. 13/23UM	
1	ISSUED FOR CLIENT REVIEW	FEB.05/22 NH	
no.	description	date	by

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FIELDGATE HOMES

project name
MIL CON THREE

municipality
MILTON, ONT.

unit name
THE COASTLANDS

project no.
14032

unit no.
MC30-4

(FORMERLY K30-6)

ELEVATIONS 'B'

scale
3/16" = 1'-0"

date
AUGUST 2020

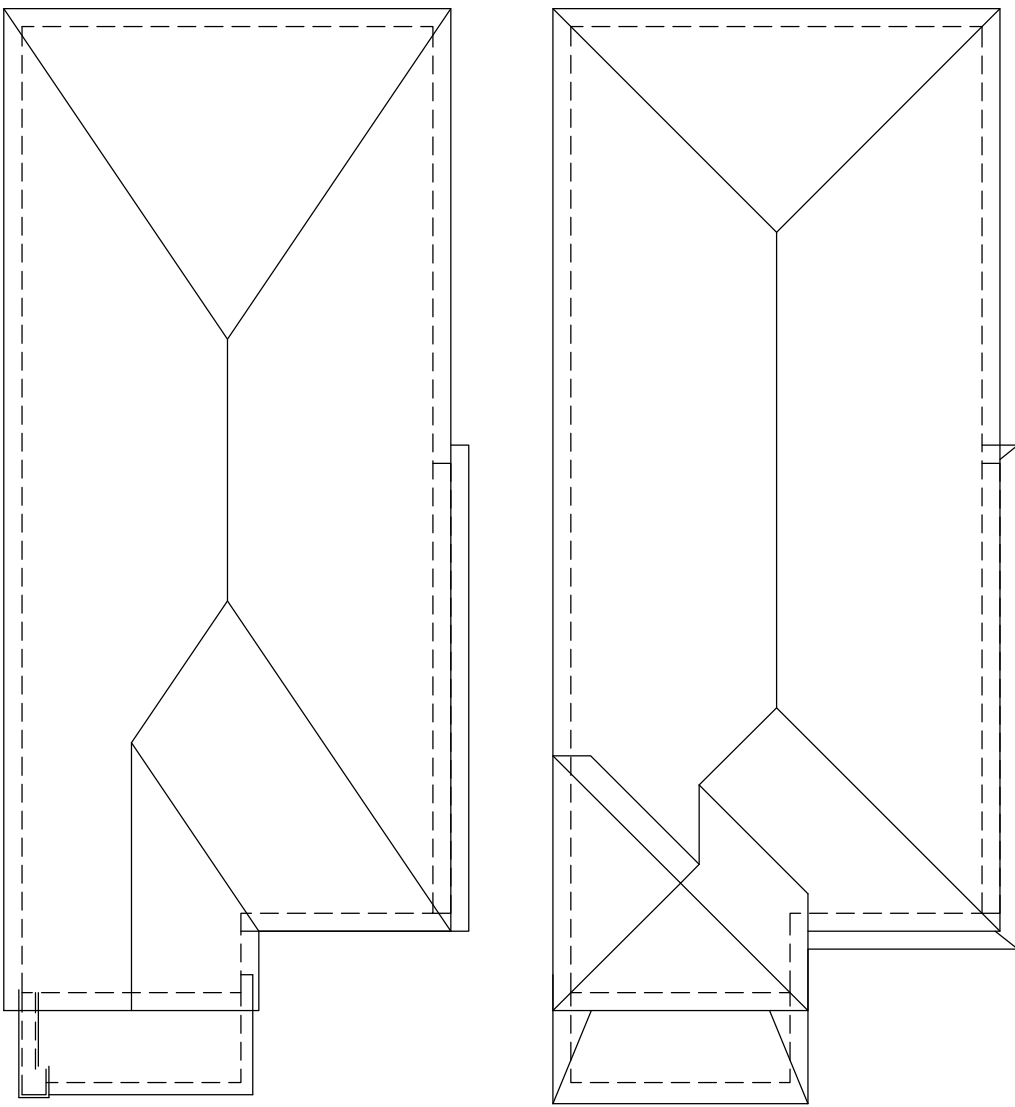
drawn by
NS

checked by
NS

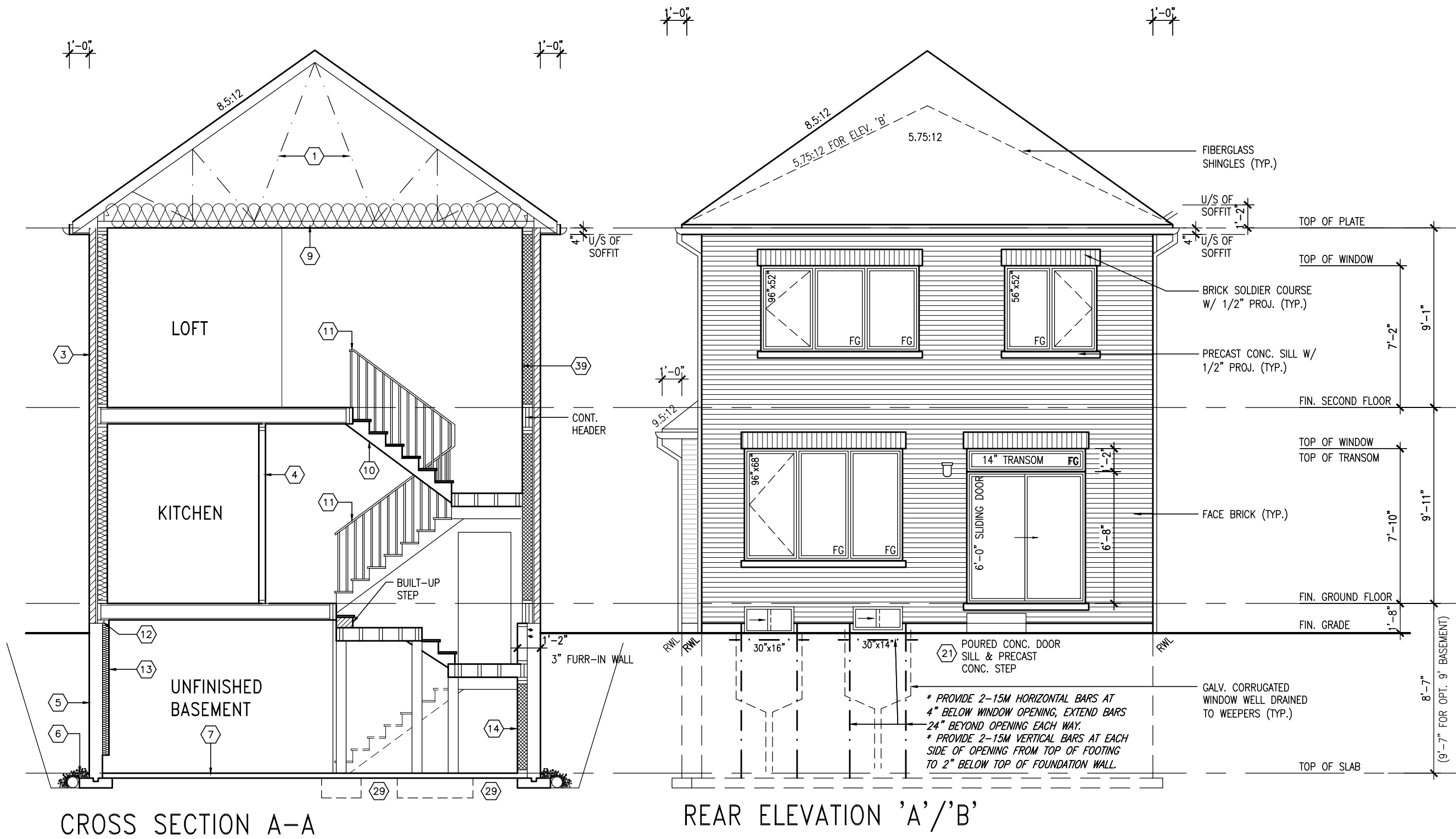
file name
20021_TYPOLOGY-SAMPLE PLANS

drawing no.
6

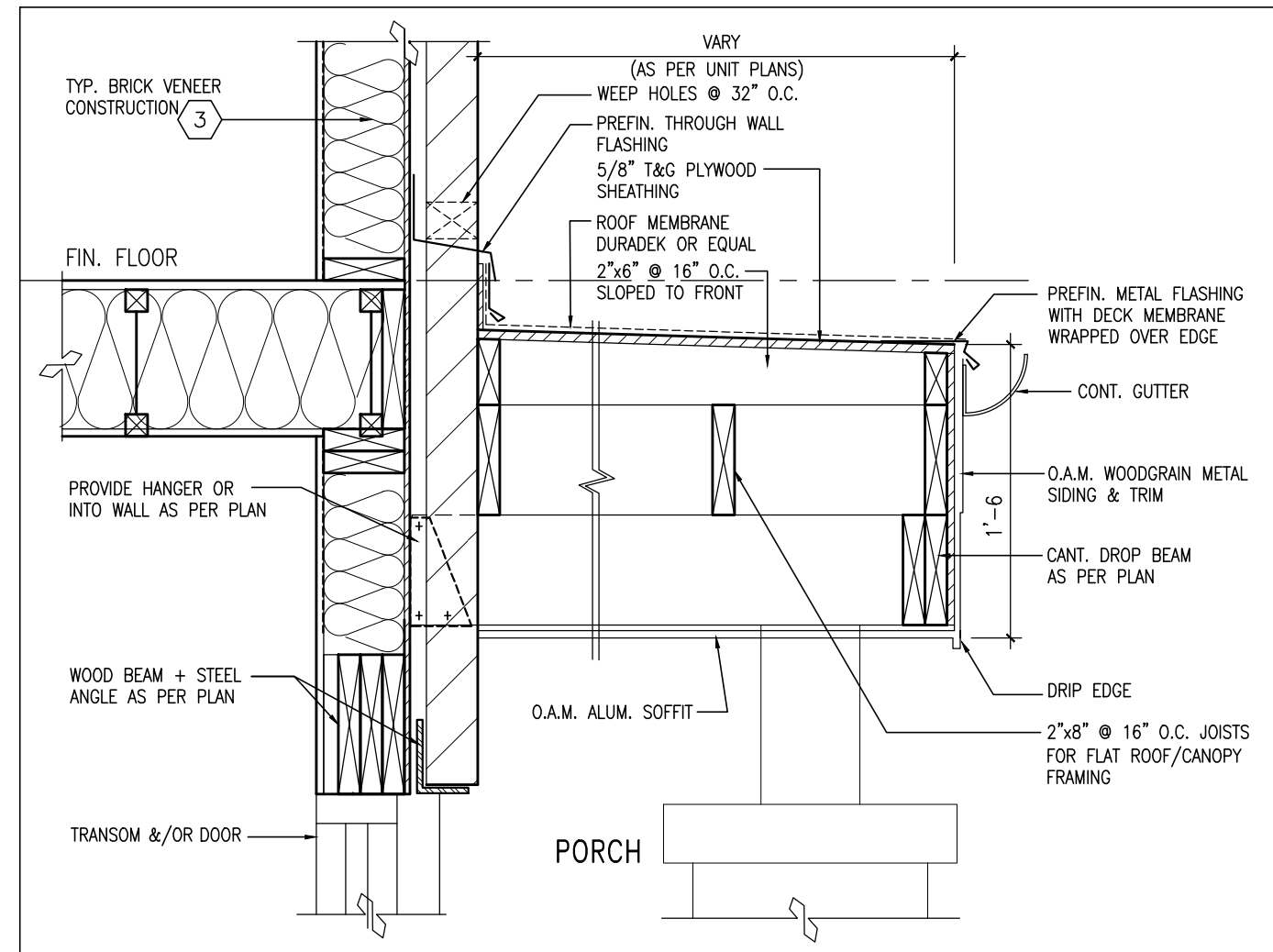
FOR GEORGETOWN 30' SINGLE (#20021)



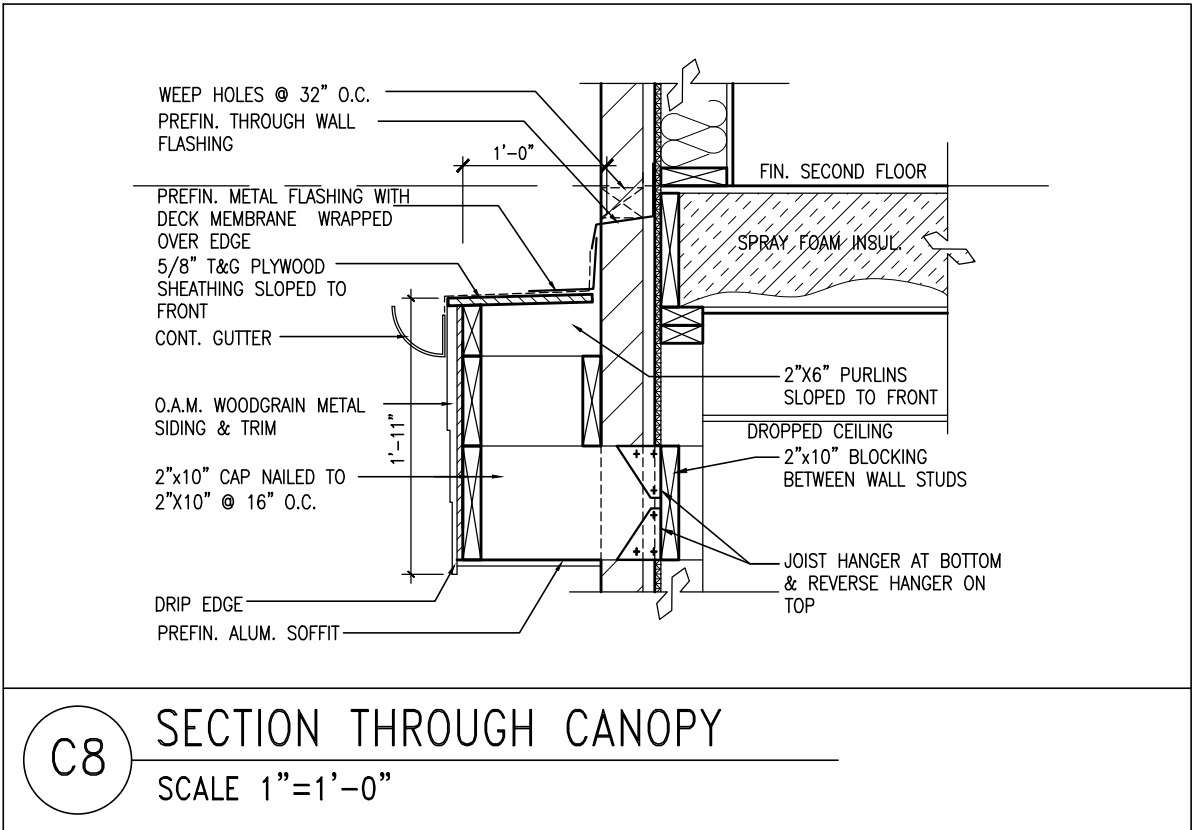
ROOF PLAN 'A' ROOF PLAN 'B'



CROSS SECTION A-A REAR ELEVATION 'A'/'B'



C1 SECTION THROUGH FLAT ROOF OVER PORCH SCALE: N.T.S.



C8 SECTION THROUGH CANOPY SCALE 1"=1'-0"

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ALL BRICK-WORK TO BE PROJECTED 1/2"

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL NOTE INFORMATION

9			
8			
7			
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4	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23	NS
3	ISSUED FOR PERMIT	APR. 19/23	SR
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no.	description	date	by

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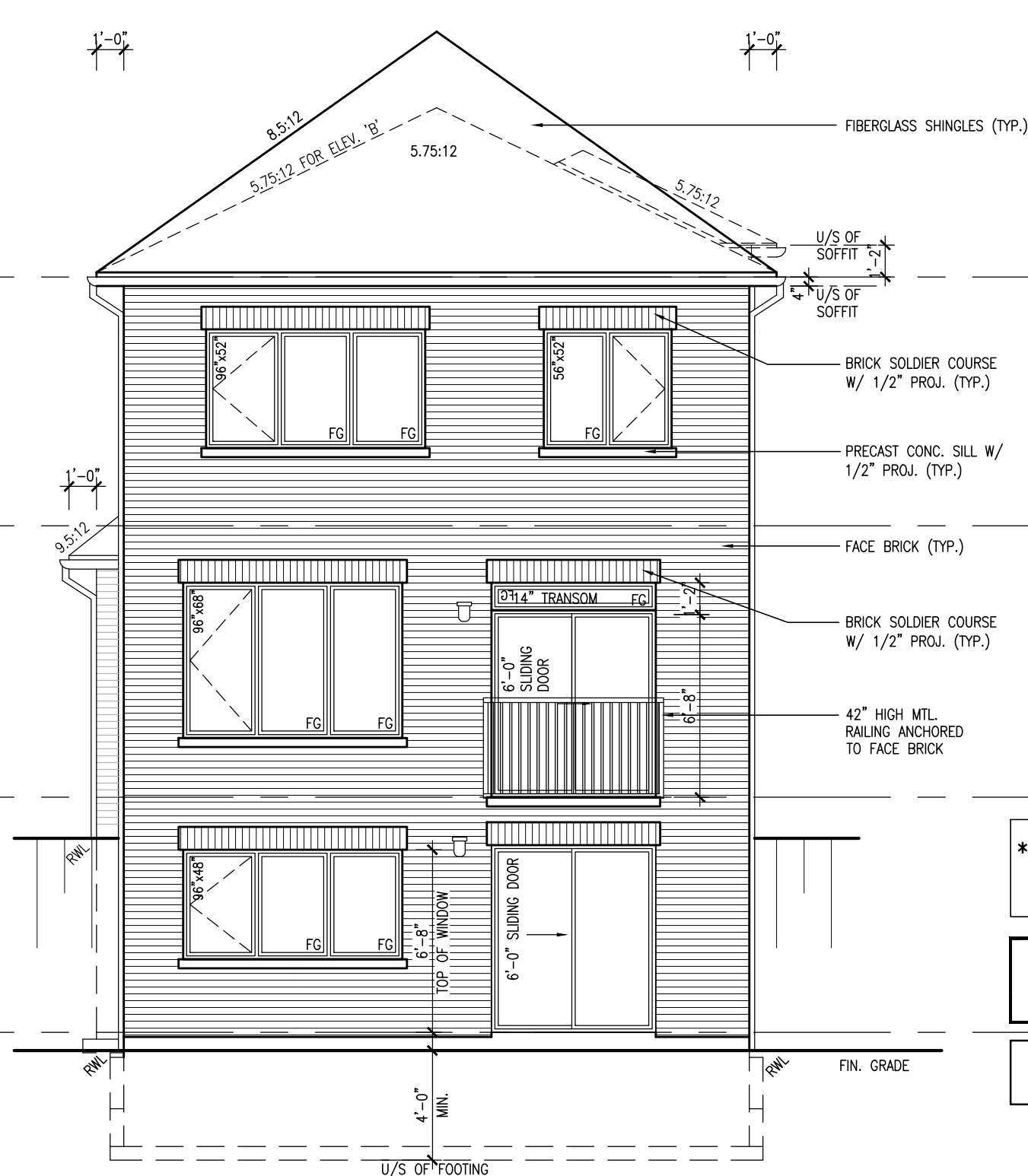
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FIELDGATE HOMES

project name	MIL CON THREE
municipality	MILTON, ONT.
unit name	THE COASTLANDS
unit no.	14032
(FORMERLY K30-6)	MC30-4

date	AUGUST 2020	scale	3/16" = 1'-0"	drawing no.	7
drawn by	NS	checked by		file name	20021_TYPOLOGY-SAMPLE PLANS

FOR GEORGETOWN 30' SINGLE (#20021)



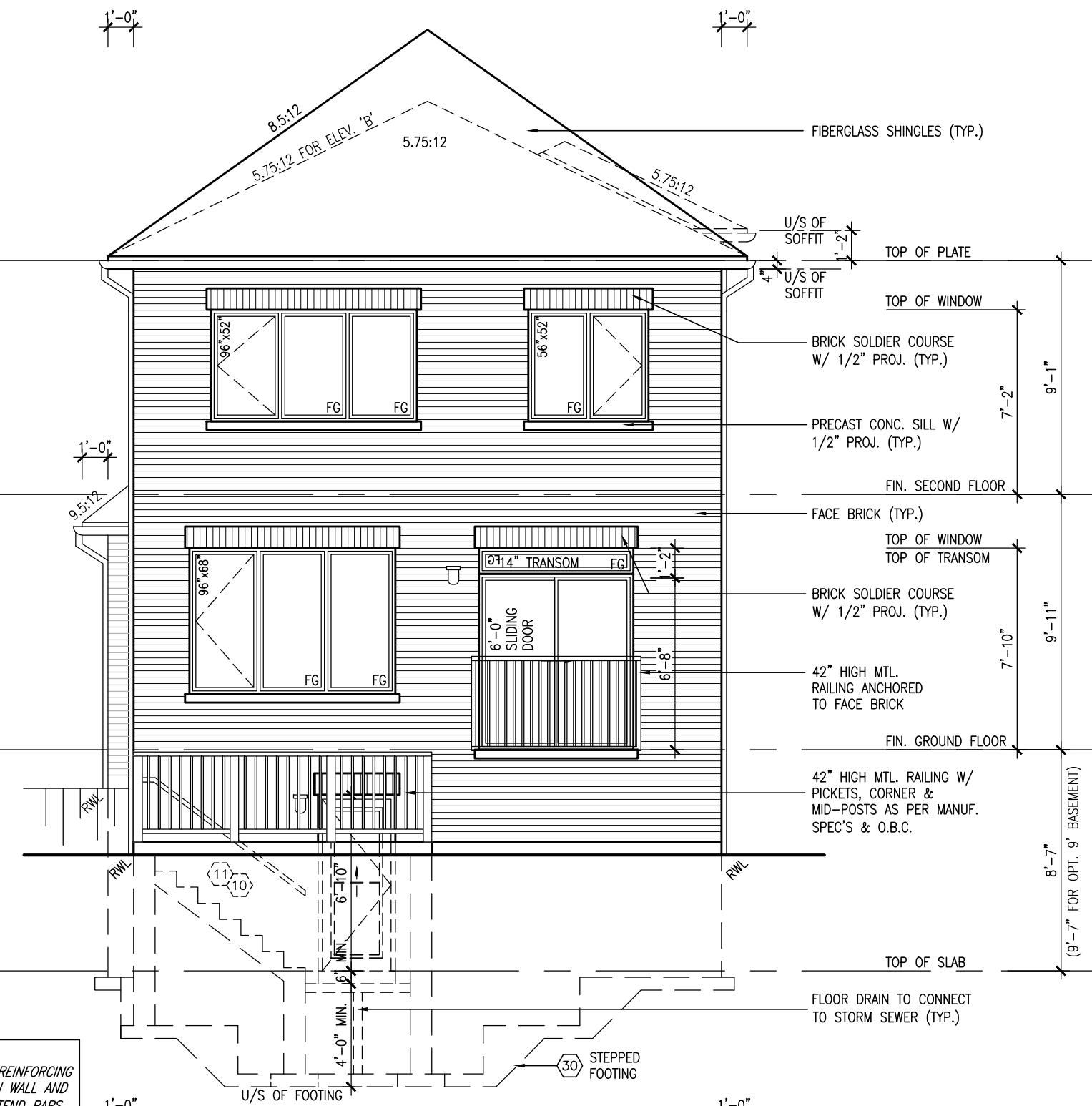
REAR ELEVATION 'A'/'B' - W.O.B.

*SUBJECT TO GRADING APPROVAL
AND RISER COUNT MAY VARY

ALL BRICK-WORK TO
BE PROJECTED 1/2"

NOTE: REFER TO FRONT
ELEVATION FOR TYPICAL
NOTE INFORMATION

NOTE: REINFORCEMENT BARS
* PROVIDE 2-15M HORIZONTAL REINFORCING
EACH SIDE FACE OF FOUNDATION WALL AND
4" BELOW WINDOW OPENING, EXTEND BARS
24" BEYOND OPENING EACH WAY
* PROVIDE 2-15M VERTICAL REINFORCING
EACH SIDE FACE OF FOUNDATION WALL AND
WINDOW OPENING FROM TOP OF FOOTING
TO 2" BELOW TOP OF FOUNDATION WALL
* BARS TO HAVE MIN. 2" CONCRETE COVER



REAR ELEVATION 'A'/'B' - W.U.B.

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NOTE: REFER TO STANDARD
FLOOR PLANS FOR
ADDITIONAL INFORMATION

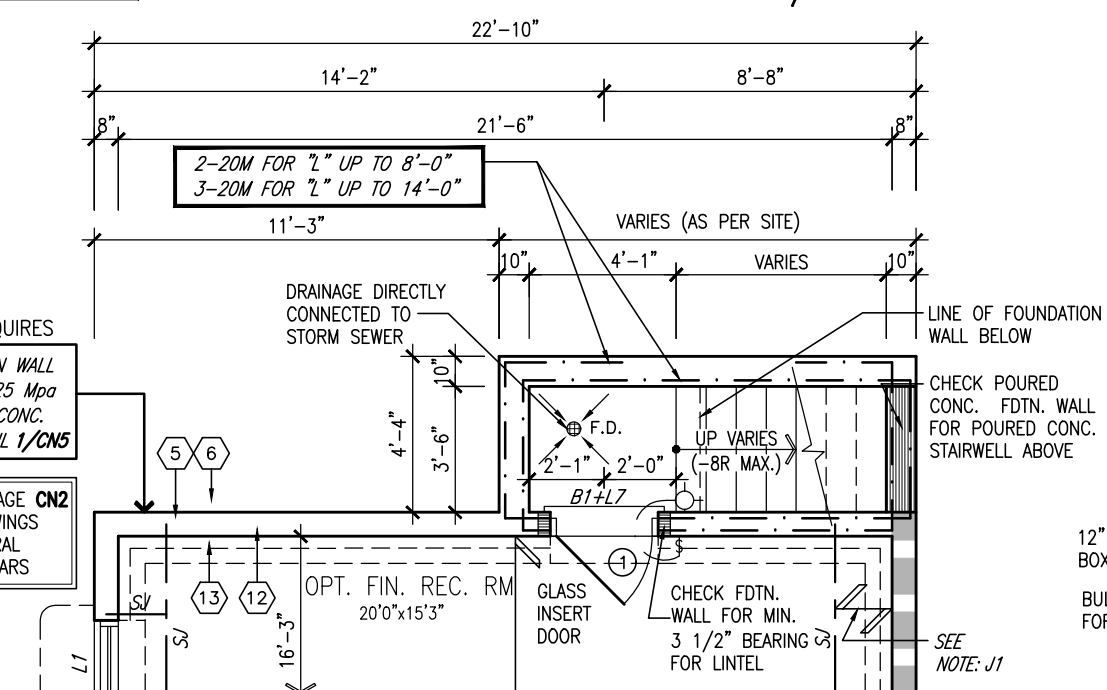
INDICATES REDUCED
SIDE YARD CONDITION

NOTE: J1: PROVIDE SOLID
BLOCKING AT 24" O/C AT JOIST
SPACE ADJACENT TO FDTN. WALL
WHERE FLOOR JOISTS RUN
PARALLEL TO FDTN. WALL (TYP.)

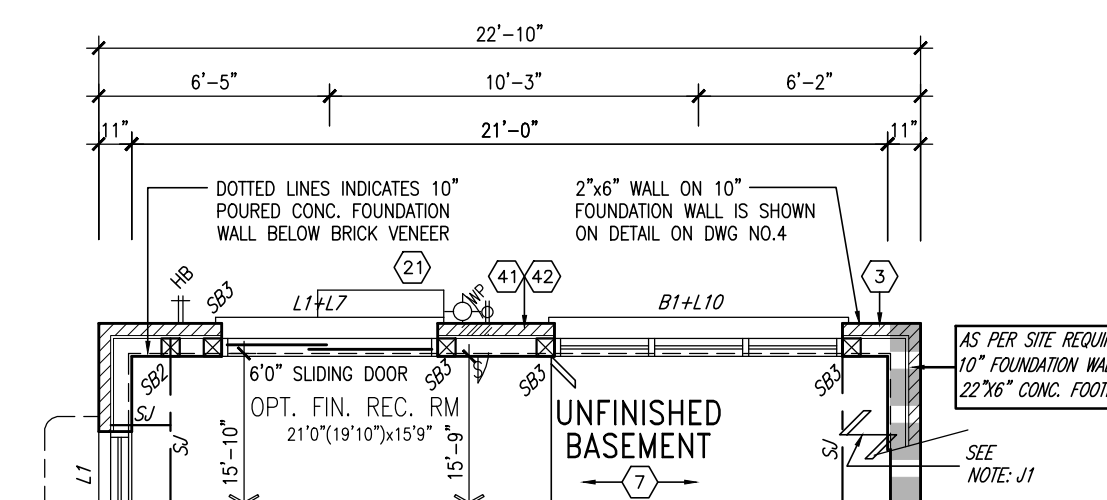
AS PER SITE REQUIRES

NOTE: FOUNDATION WALL
TO BE 10" THICK 25 MPa
CONC. ON 22"x6" CONC.
FOOTING SEE DETAIL 1/CN5

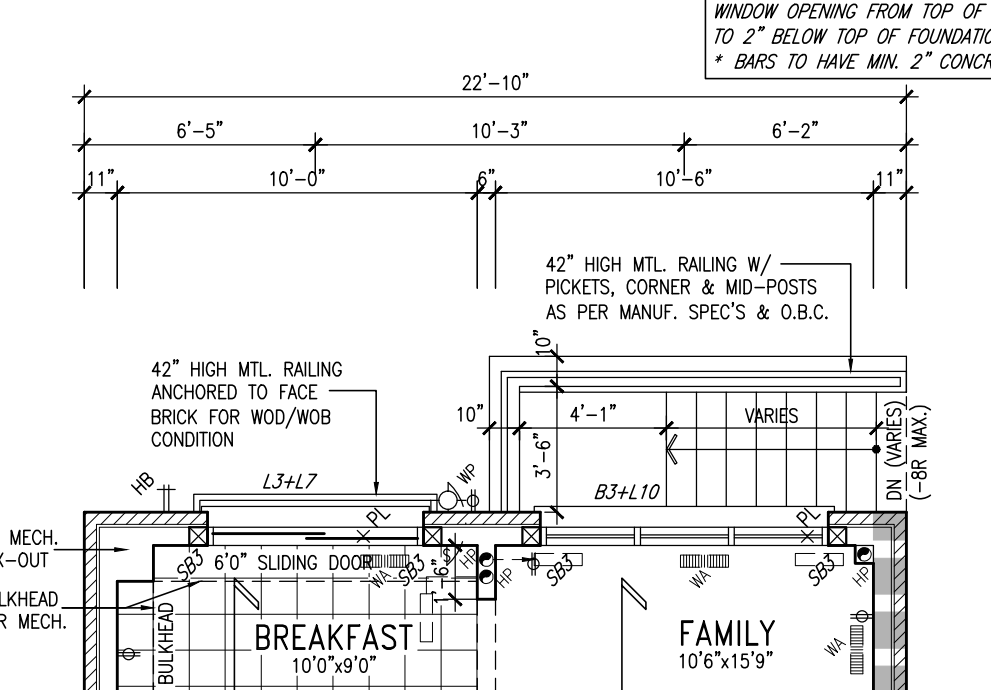
NOTE: REFER TO PAGE CN2
FOR DETAILED DRAWINGS
AND FOR STRUCTURAL
RE-INFORCEMENT BARS



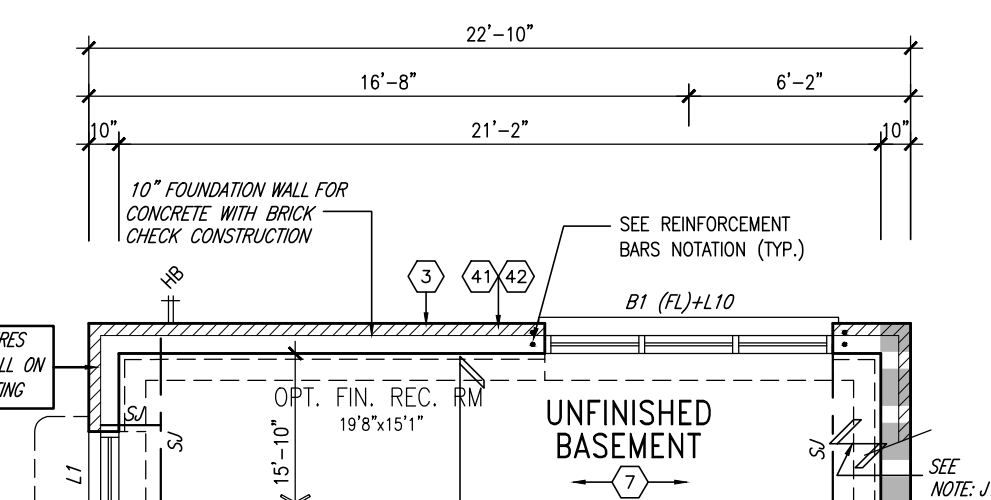
PART. BASEMENT PLAN
WALK UP CONDITION



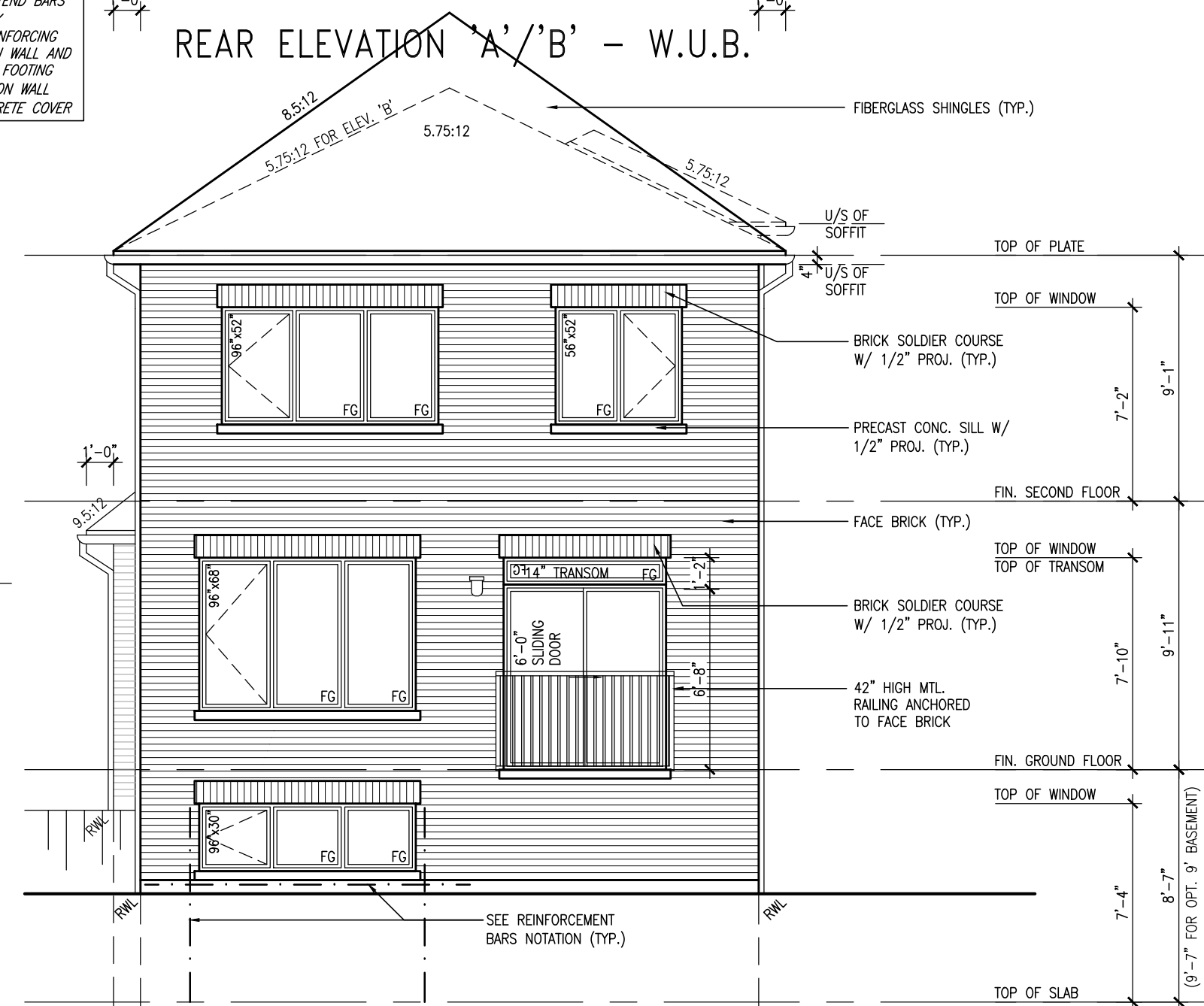
PART. BASEMENT PLAN - W.O.B. COND.



PART. GROUND FLOOR PLAN
WALK UP CONDITION



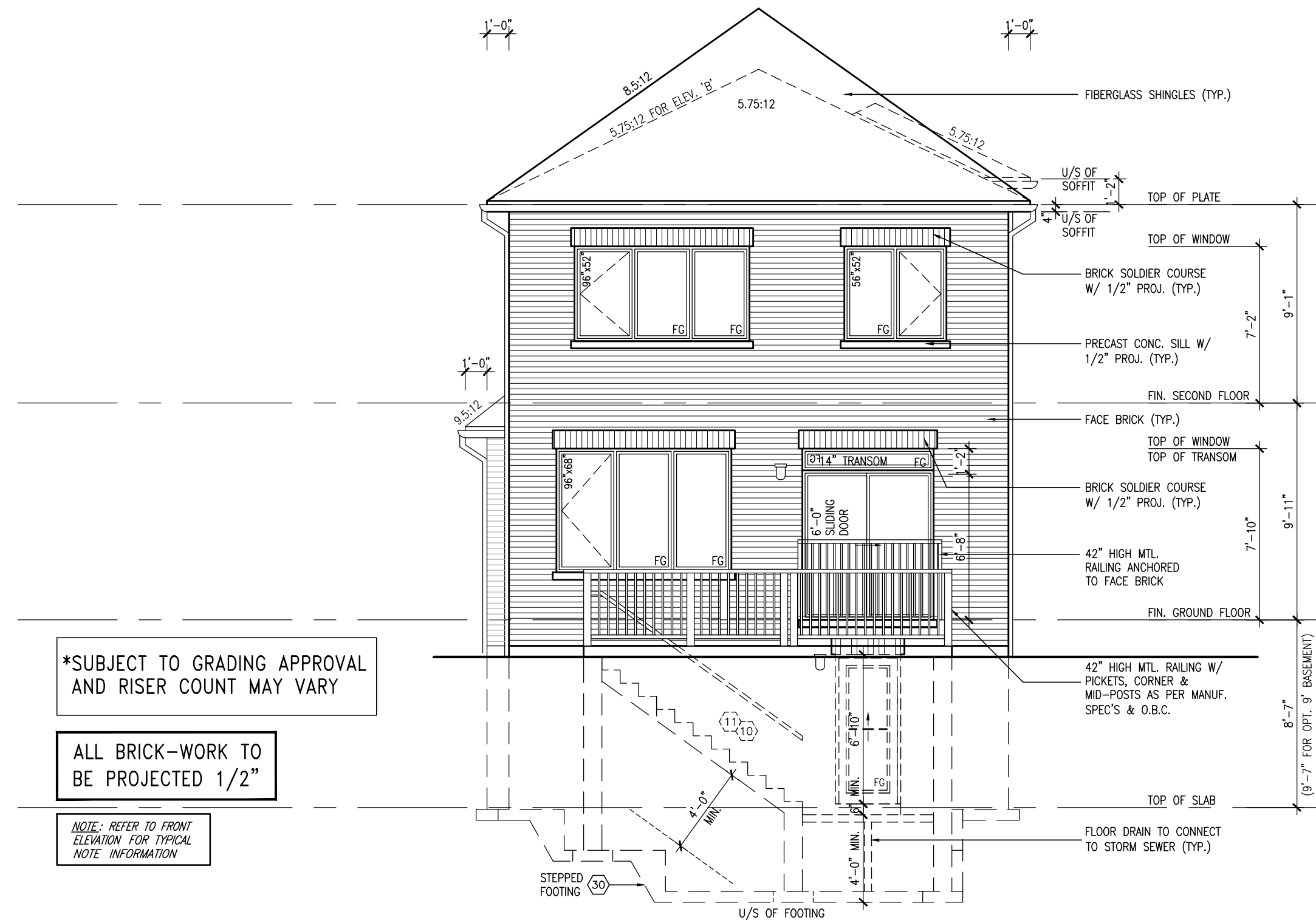
PART. BASEMENT PLAN - W.O.D. COND.



REAR ELEVATION 'A'/'B' - W.O.D.

9	-	-	-	-
8	-	-	-	-
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5	-	-	-	-
4	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS		
3	ISSUED FOR PERMIT	APR. 19/23SR		
2	ISSUED FOR PERMIT	MAR. 13/23UM		
1	ISSUED FOR CLIENT REVIEW	FEB.05/22 NH		
no.	description	date	by	
<div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div>				
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<div>FIELDGATE HOMES</div>				
project name MIL CON THREE				
municipality MILTON, ONT.				
unit name THE COASTLANDS				
project no. 14032				
unit no. MC30-4				
(FORMERLY K30-6)				
STD. REAR GRADE CONDITIONS				
date AUGUST 2020				
scale 3/16" = 1'-0"				
drawn by NS				
checked by -				
file name 20021 TYPOLOGY-SAMPLE PLANS				
drawing no. 8				

FOR GEORGETOWN 30' SINGLE (#20021)

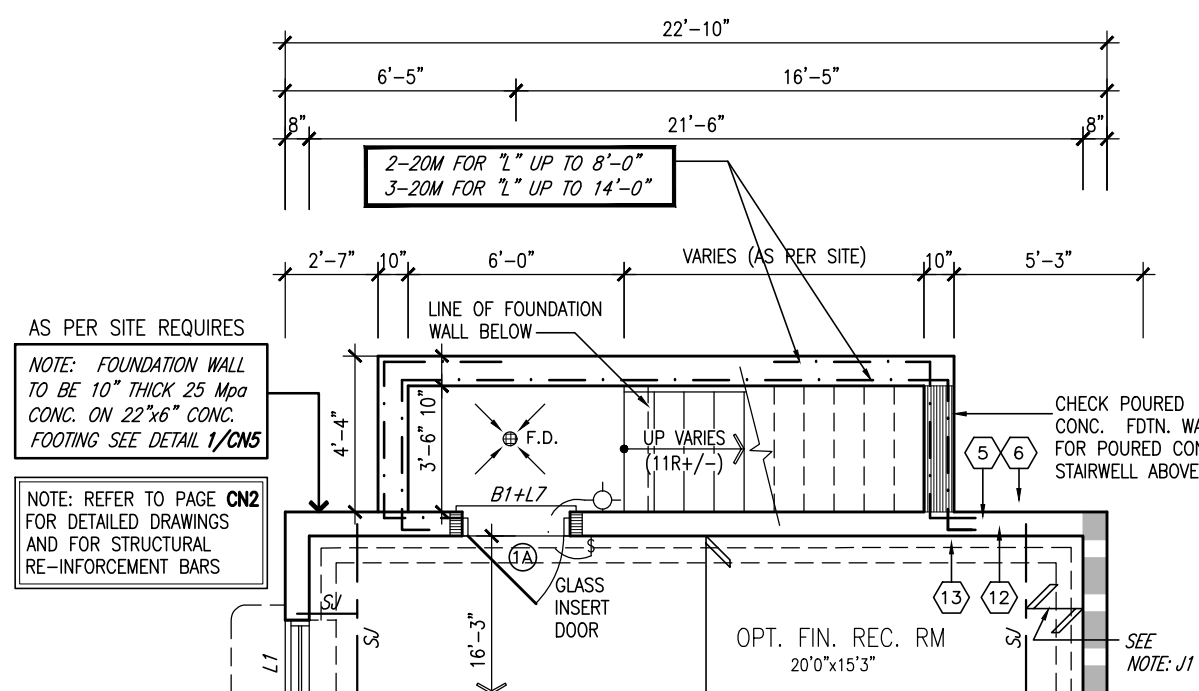


*SUBJECT TO GRADING APPROVAL
AND RISER COUNT MAY VARY

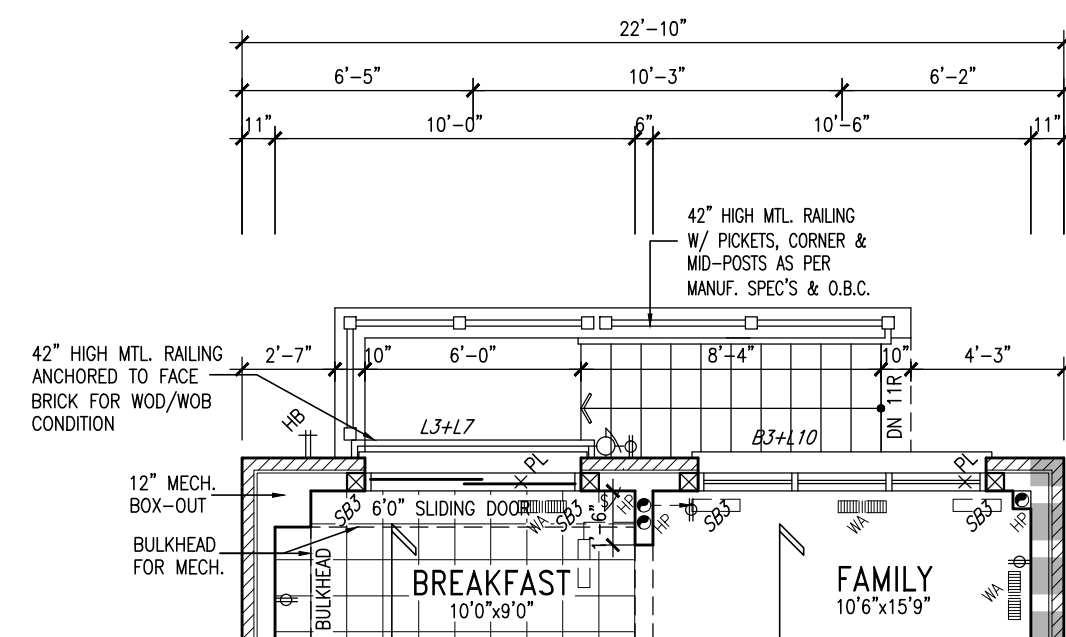
ALL BRICK-WORK TO
BE PROJECTED 1/2"

NOTE: REFER TO FRONT
ELEVATION FOR TYPICAL
NOTE INFORMATION

REAR ELEVATION 'A'/'B' - MODIFIED W.U.B.



PART. BASEMENT PLAN
MODIFIED WALK UP CONDITION



PART. GROUND FLOOR PLAN
MODIFIED WALK UP CONDITION

NOTE : REINFORCEMENT BARS

- * PROVIDE 2-15M HORIZONTAL REINFORCING EACH SIDE FACE OF FOUNDATION WALL AND 4" BELOW WINDOW OPENING, EXTEND BARS 24" BEYOND OPENING EACH WAY
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- * BARS TO HAVE MIN. 2" CONCRETE COVER

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4	REVISED COLD CELLAR TO BE STANDARD	AUG. 03/23NS	
3	ISSUED FOR PERMIT	APR. 19/23SR	
2	ISSUED FOR PERMIT	MAR. 13/23JM	
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no.	description	date	by

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Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

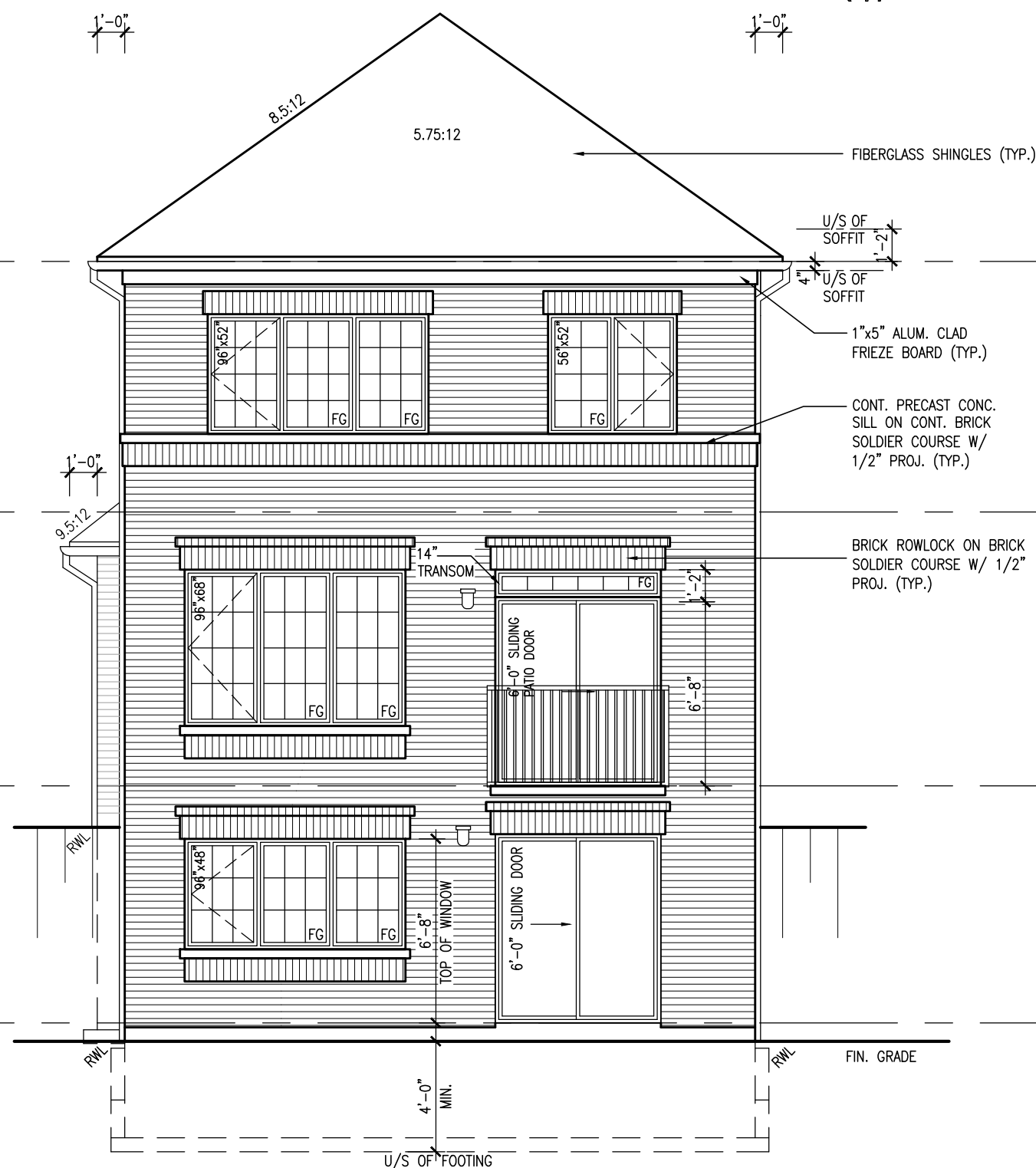
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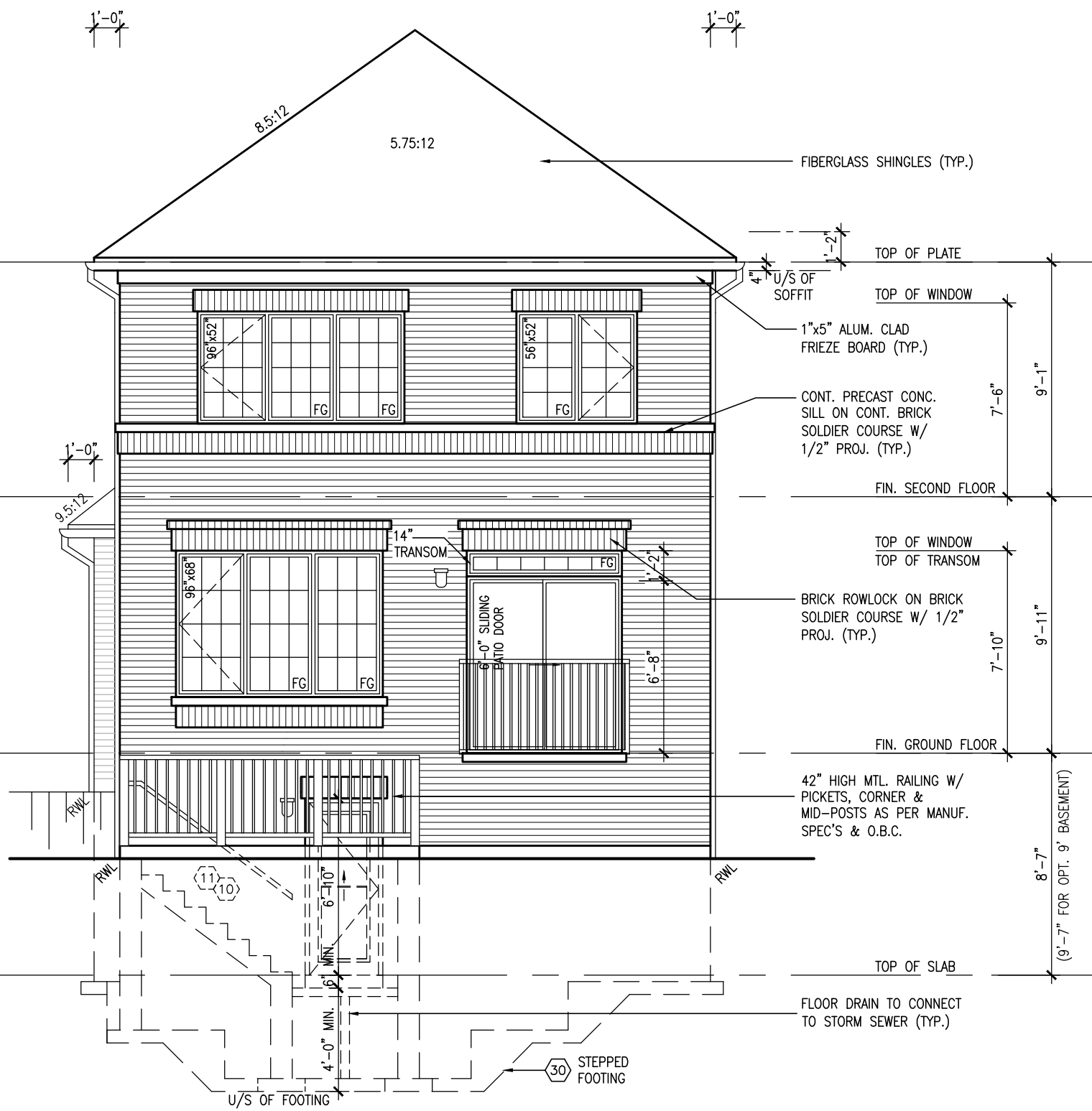
FIELDGATE HOMES

project name		project no.	
MIL CON THREE		14032	
municipality		unit no.	
MILTON, ONT.			
THE COASTLANDS		MC30-4	
(FORMERLY K30-6)		title	
MODIFIED WALK UP BASEMENT		drawing no.	
date	scale	8A	
AUGUST 2000	3/16" = 1'-0"		
drawn by	checked by		
NS		file name	
2021 TYPOLOGY-SAMPLE PLANS			

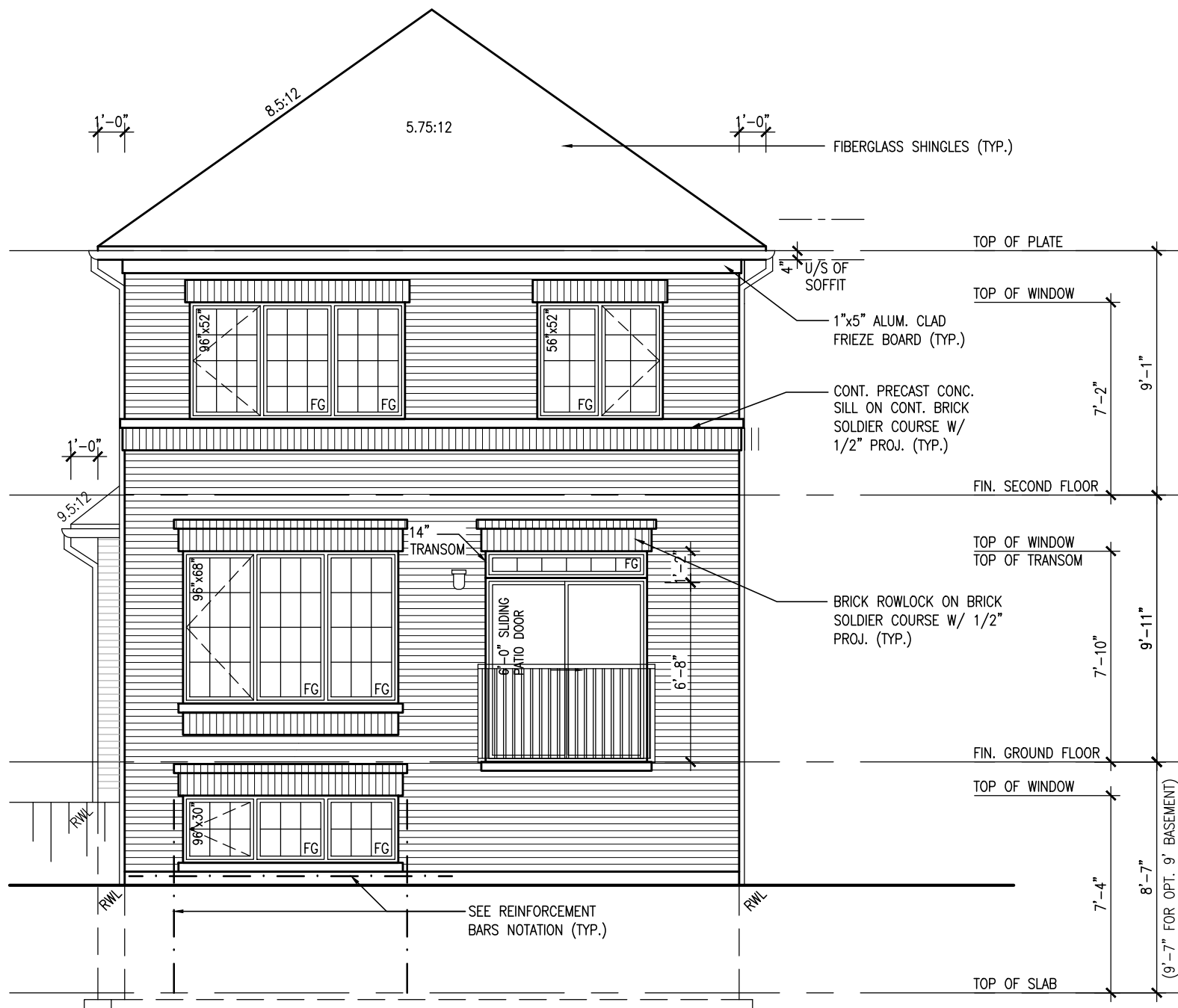
FOR GEORGETOWN 30' SINGLE (#20021)



REAR UPGRADE ELEVATION 'A' - W.O.B.



REAR UPGRADE ELEVATION 'A' - W.U.B.



REAR UPGRADE ELEVATION 'A' - W.O.D.

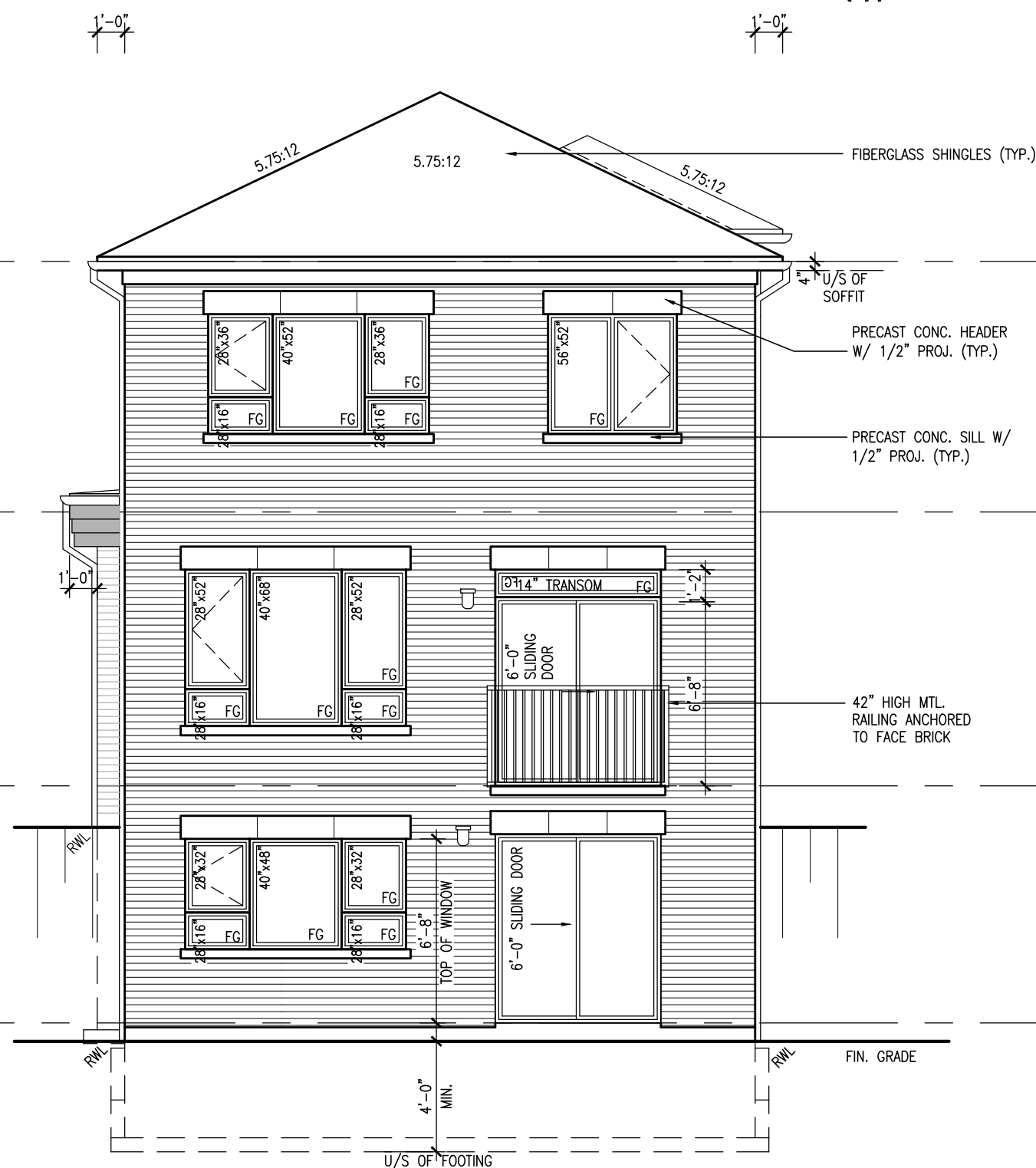
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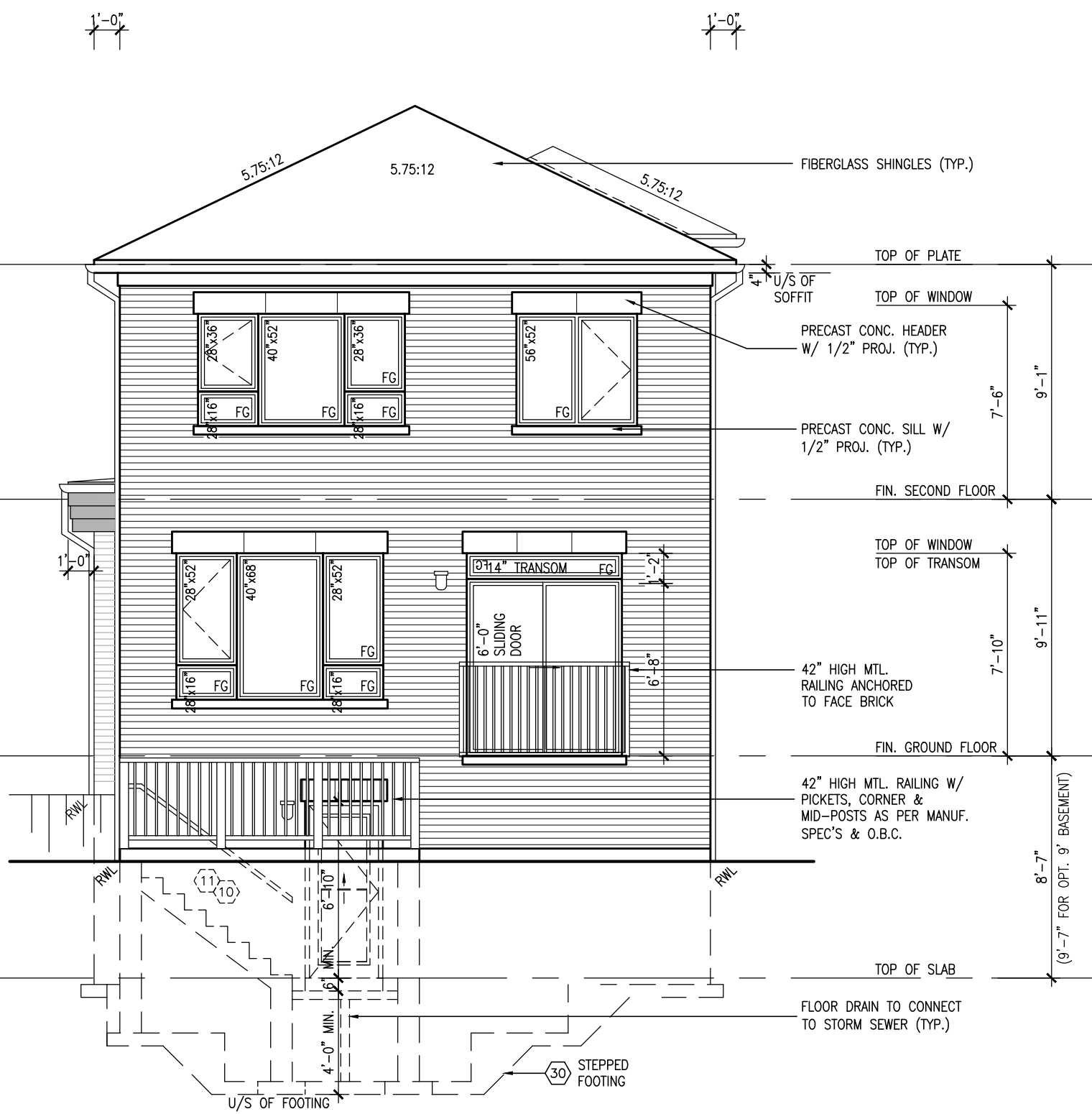
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FIELDGATE HOMES			
project name	MIL CON THREE		
municipality	MILTON, ONT.		
unit name	THE COASTLANDS	project no.	14032
unit no.	(FORMERLY K30-6)	unit no.	MC30-4
UPGRADED REAR 'A' GRADE COND.			
date	AUGUST 2020	scale	3/16" = 1'-0"
drawn by	NS	checked by	
file name	20021_TYPOLOGY-SAMPLE PLANS		
drawing no.	9		

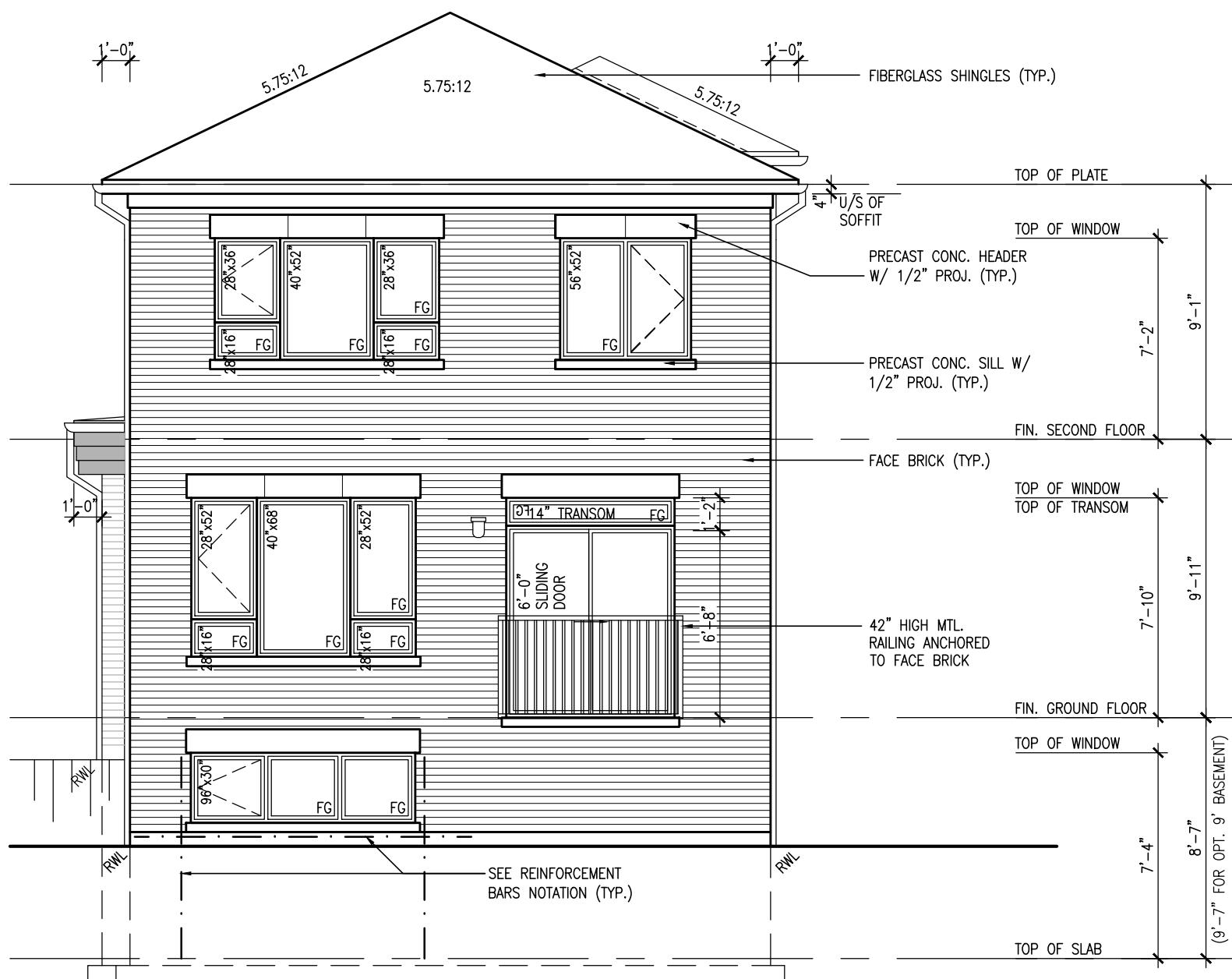
FOR GEORGETOWN 30' SINGLE (#20021)



REAR UPGRADE ELEVATION 'B' - W.O.B.



REAR UPGRADE ELEVATION 'B' - W.U.B.



REAR UPGRADE ELEVATION 'B' - W.O.D.

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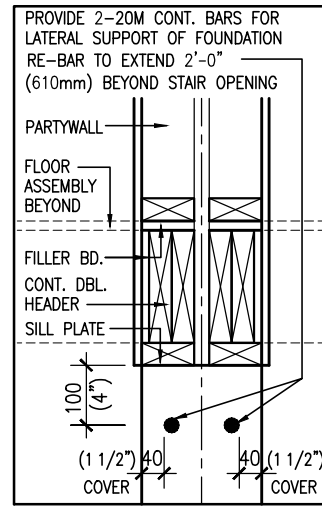
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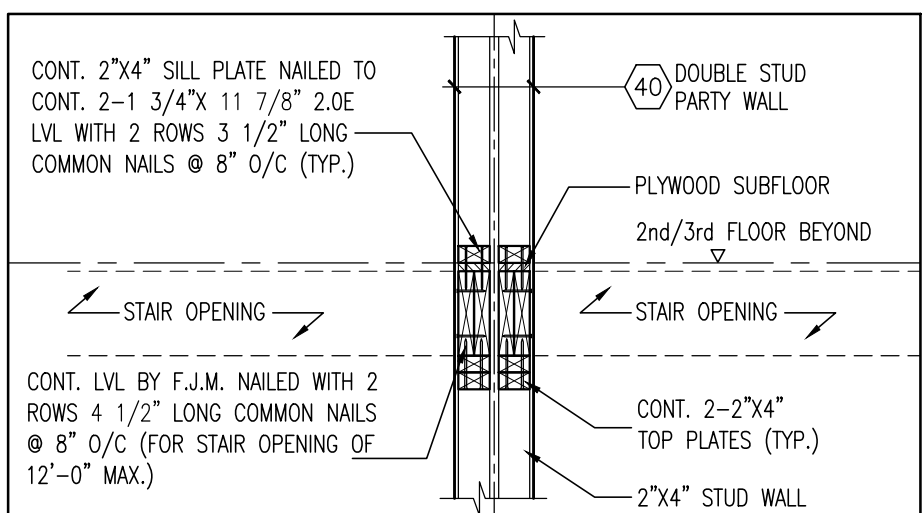
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project name MIL CON THREE			
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unit name THE COASTLANDS			
project no. 14032			
unit no. MC30-4			
(FORMERLY K30-6)			
UPGRADED REAR 'B' GRADE COND.			
date AUGUST 2020	scale 3/16" = 1'-0"	checked by NS	drawing no. 10
20021_TYPOLOGY-SAMPLE PLANS			

FOR GEORGETOWN 21' BACK-TO-BACK TOWNS (#20021)

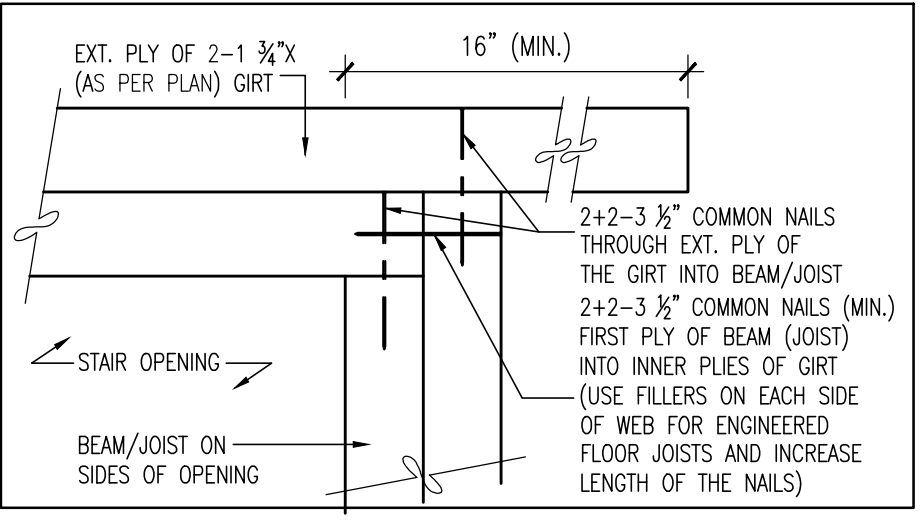
AREA CALCULATIONS	
	ELEV. 'A&B'
LOWER LEVEL PLAN	418 SF
MAIN LEVEL PLAN	670 SF
UPPER LEVEL PLAN	695 SF
SUBTOTAL	1783 SF
DEDUCT ALL OPENINGS	0 SF
TOTAL NET AREA	1783 SF
	165.64 m ²
OPT. FINISHED BSMT AREA	241 SF
COVERAGE W/OUT PORCH	646 SF
	60.01 m ²
COVERAGE W/ PORCH	703 SF
	65.31 m ²



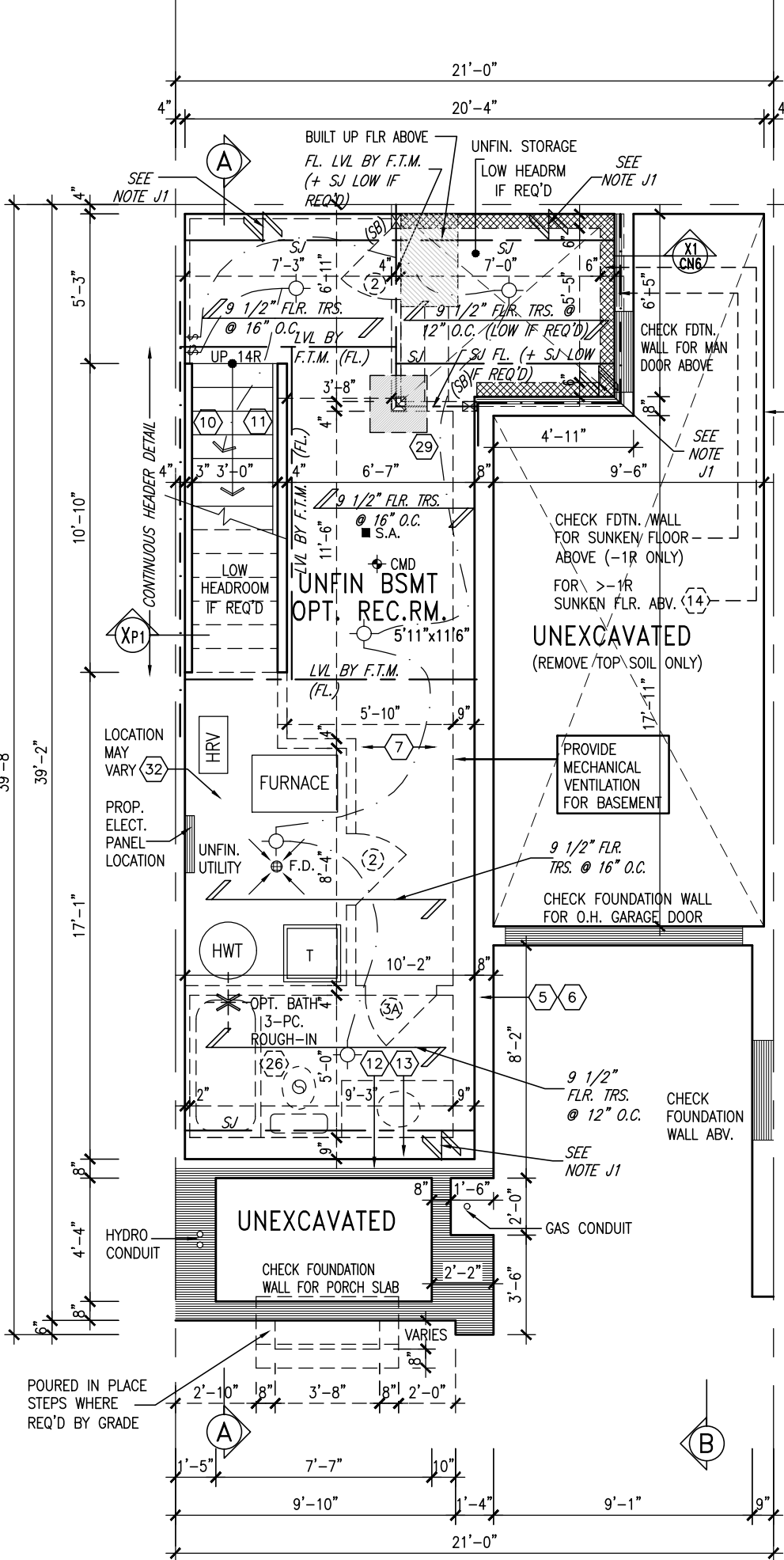
SECTION AT TOP OF FOUNDATION / PARTYWALL



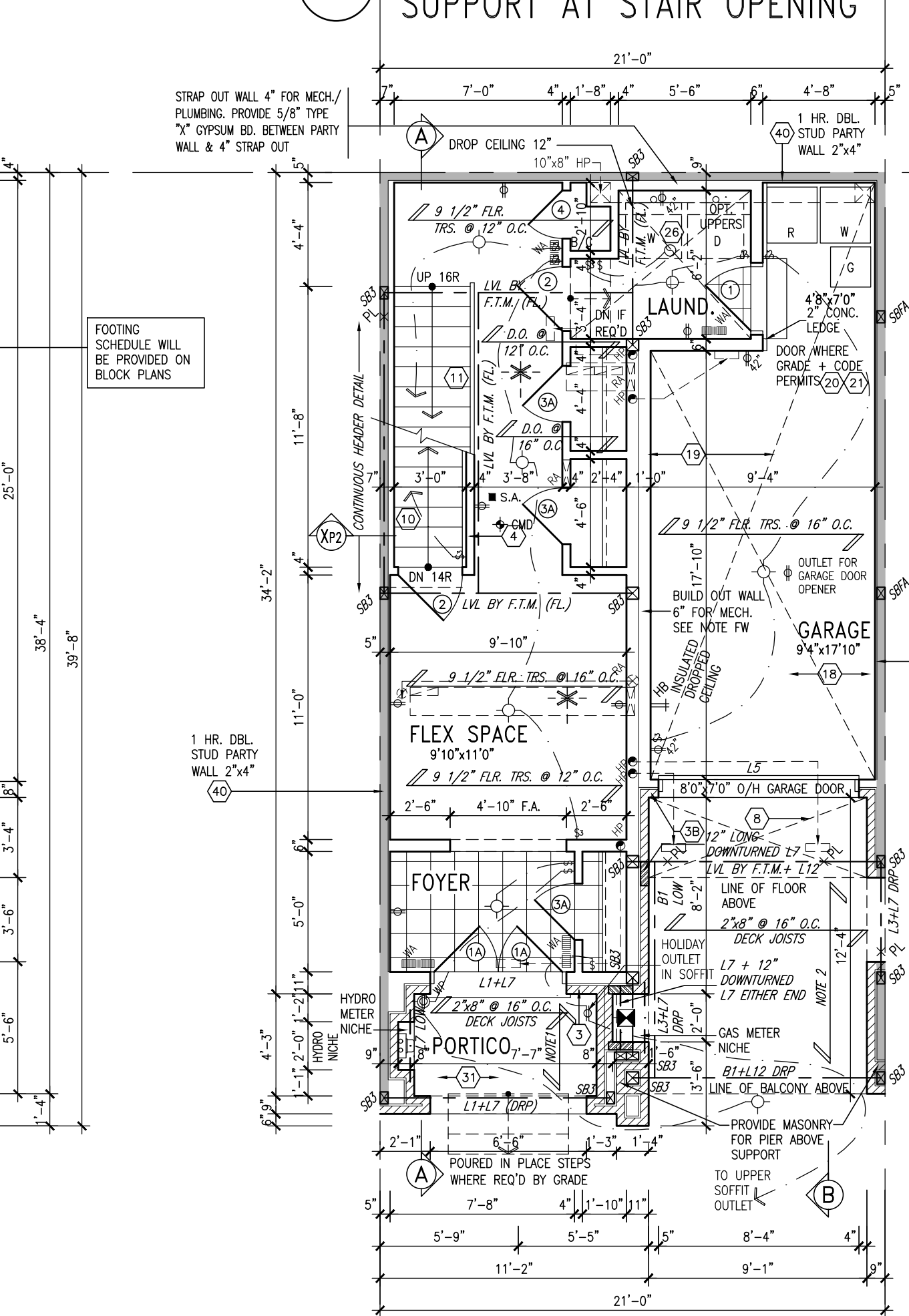
SECTION AT INT. PARTYWALL SUPPORT AT STAIR OPENING



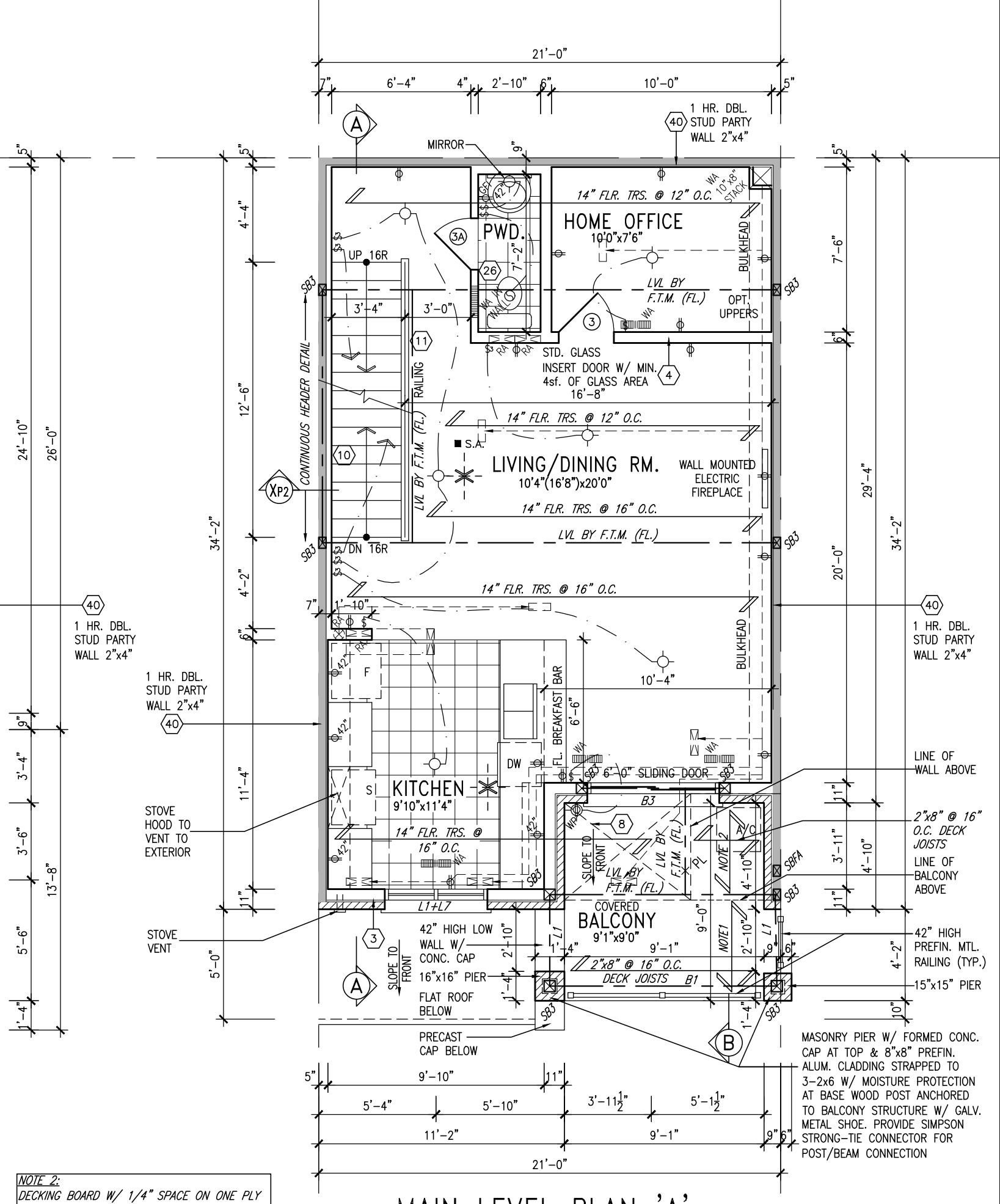
PLAN VIEW OF 2 PLY GIRT AT DETAIL Xp2 LATERAL SUPPORT OF STAIR OPENING



BASEMENT PLAN 'A' & 'B'



LOWER LEVEL PLAN 'A'



MAIN LEVEL PLAN 'A'

NOTE: J1: PROVIDE SOLID BLOCKING AT 24" O/C AT JOIST SPACE ADJACENT TO FDN. WALL WHERE FLOOR JOISTS RUN PARALLEL TO FDN. WALL (TYP.)

SOIL TO HAVE MIN. 150 KPa BEARING CAPACITY FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6
FLOOR SUBFLOORS ALL SUBFLOORS TO BE 3/4" WEATHER PROOFED O.S.B. & TO BE GLUED & NAILED

NOTE: FLOOR FRAMING INFO. REFER TO FLOOR TRUSS MANUF. SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION & DETAILS UNLESS OTHERWISE NOTED
NOTE: FW 2'x6" @ 16" O.C. STUD MECHANICAL WALL 1/2" ASPENITE SHEATHING 2'x6" @ 16" O.C. STUDS W/ A MIN. R24 INSULATION 1/2" DRYWALL FINISH TAPED & SEALED GASPROOF

NOTE: 1: SINGLE PLY DECK MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING ON 2'x6" @ 16" O.C. SLOPED TO FRONT, PERP. TO 2'x8" DECK JOISTS @ 16" O.C. WITH PREFIN. ALUM SOFFIT.

NOTE: 2: DECKING BOARD W/ 1/4" SPACE ON ONE PLY RUBBER MEMBRANE ADHERED TO 5/8" EXT. GRADE T&G PLYWOOD SHEATHING ON 2'x6" PURLINS LAID PERP. TO JOIST, SLOPED TO GUTTER @ FRONT ON 2'x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN ALUM. SOFFIT ON U/S UNDER EXPOSED AREAS.

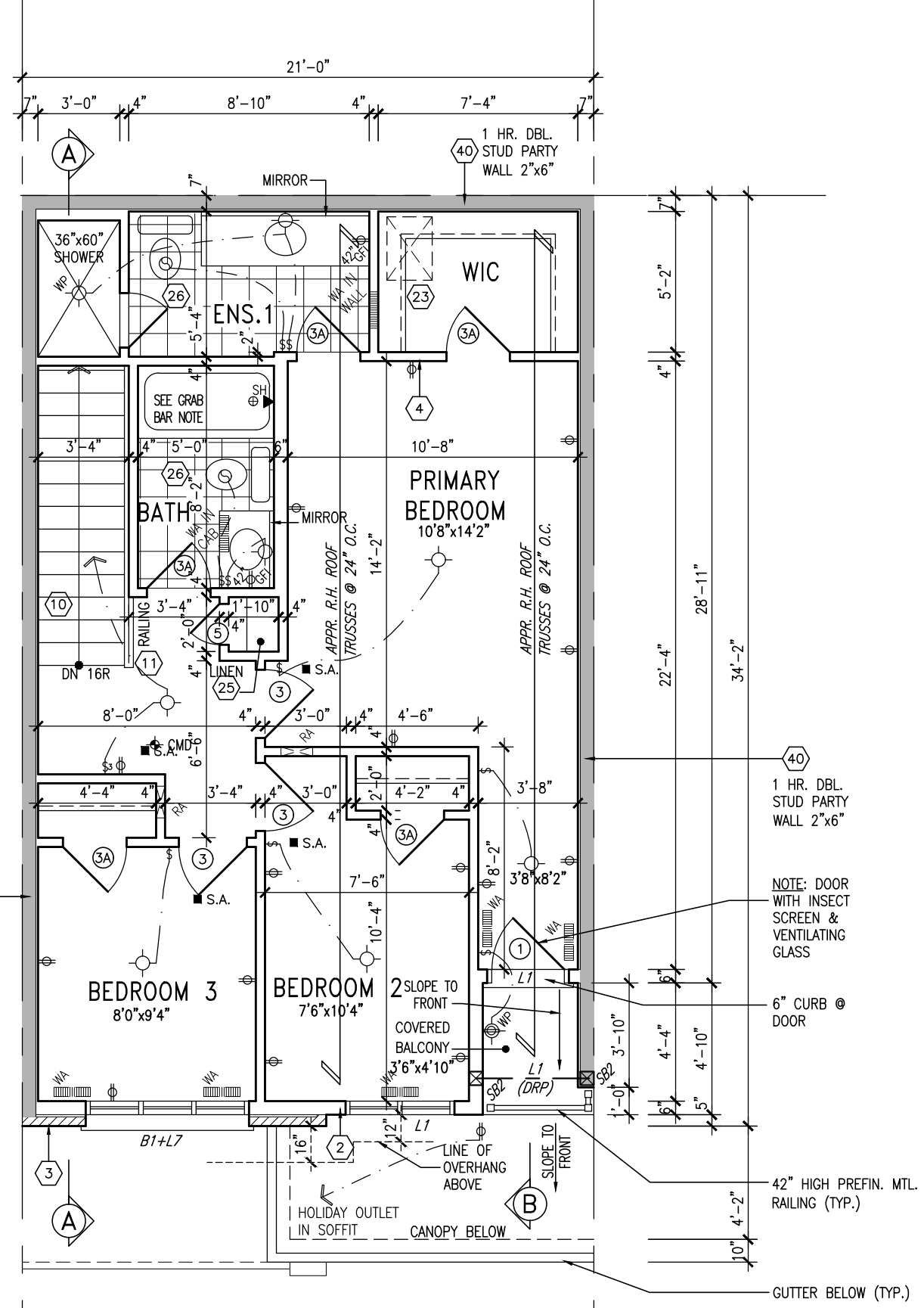
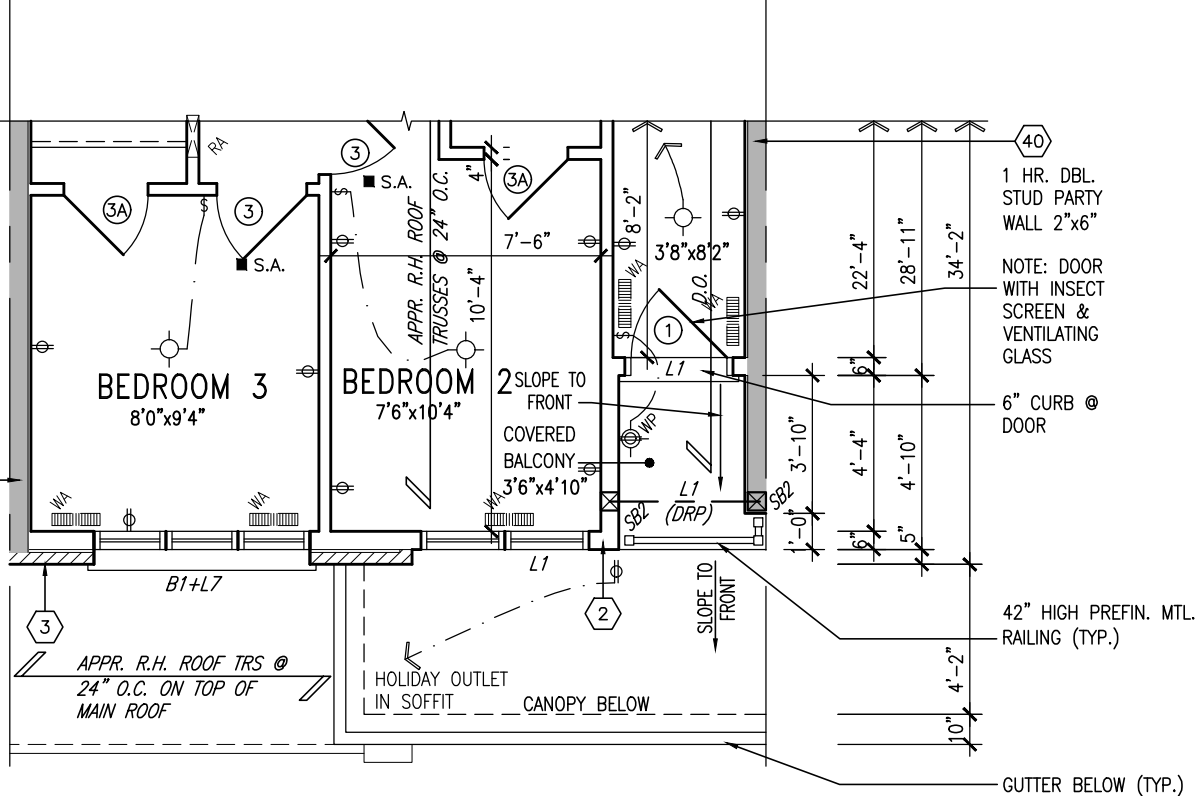
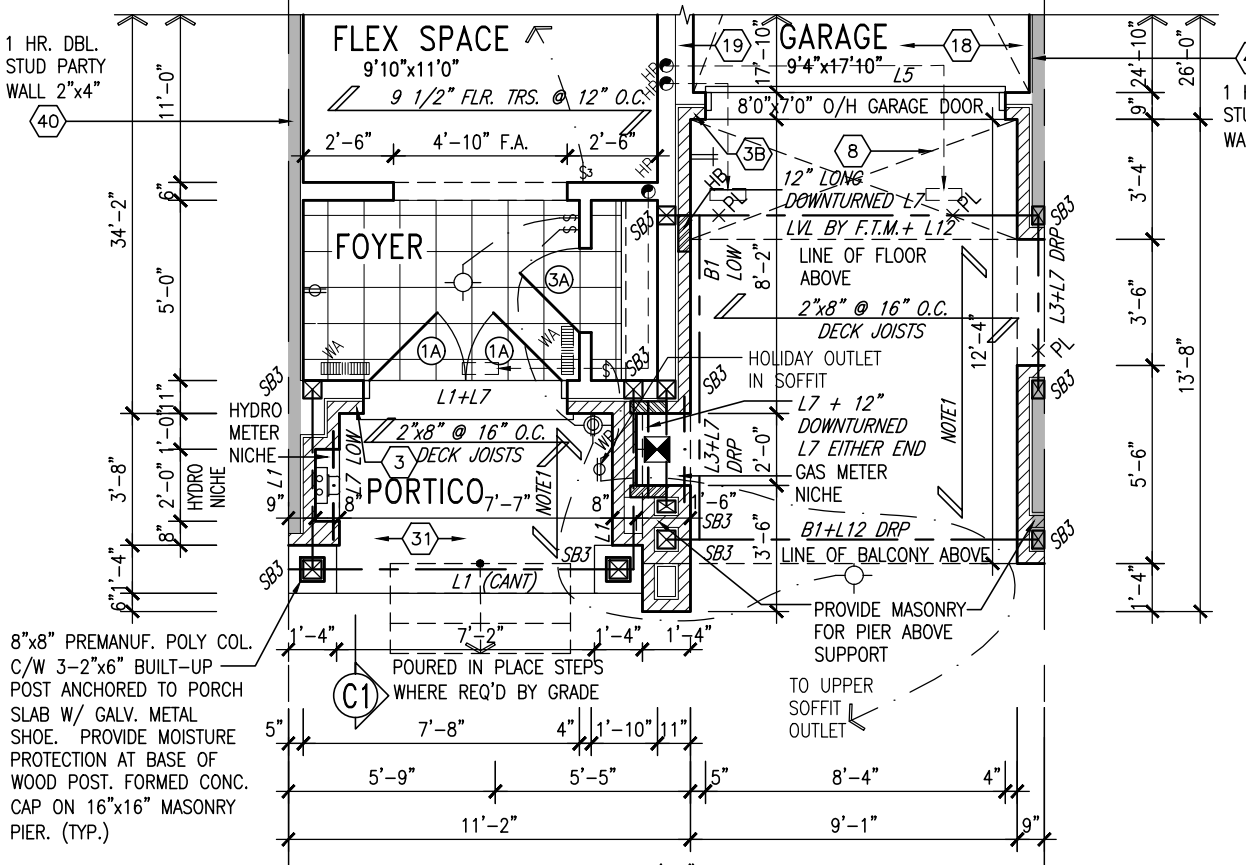
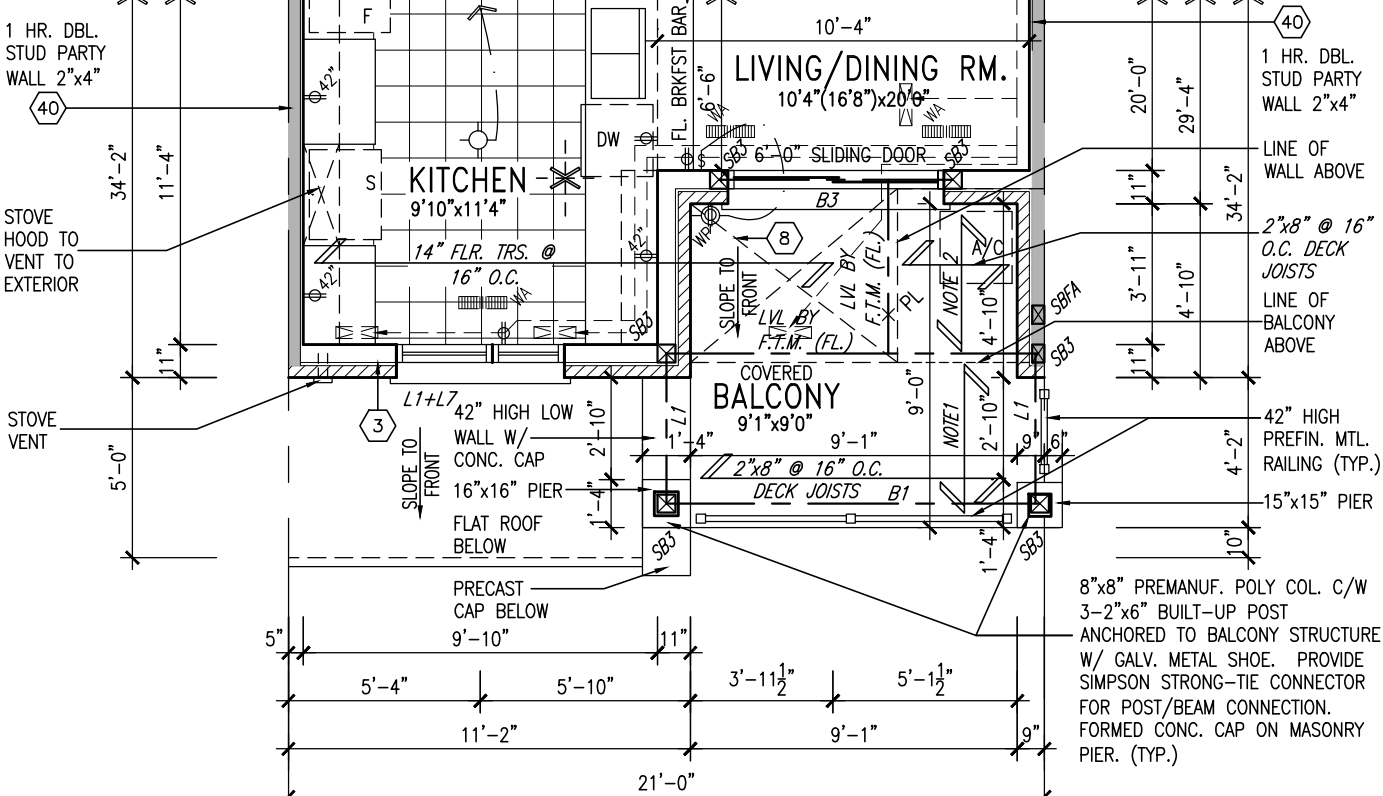
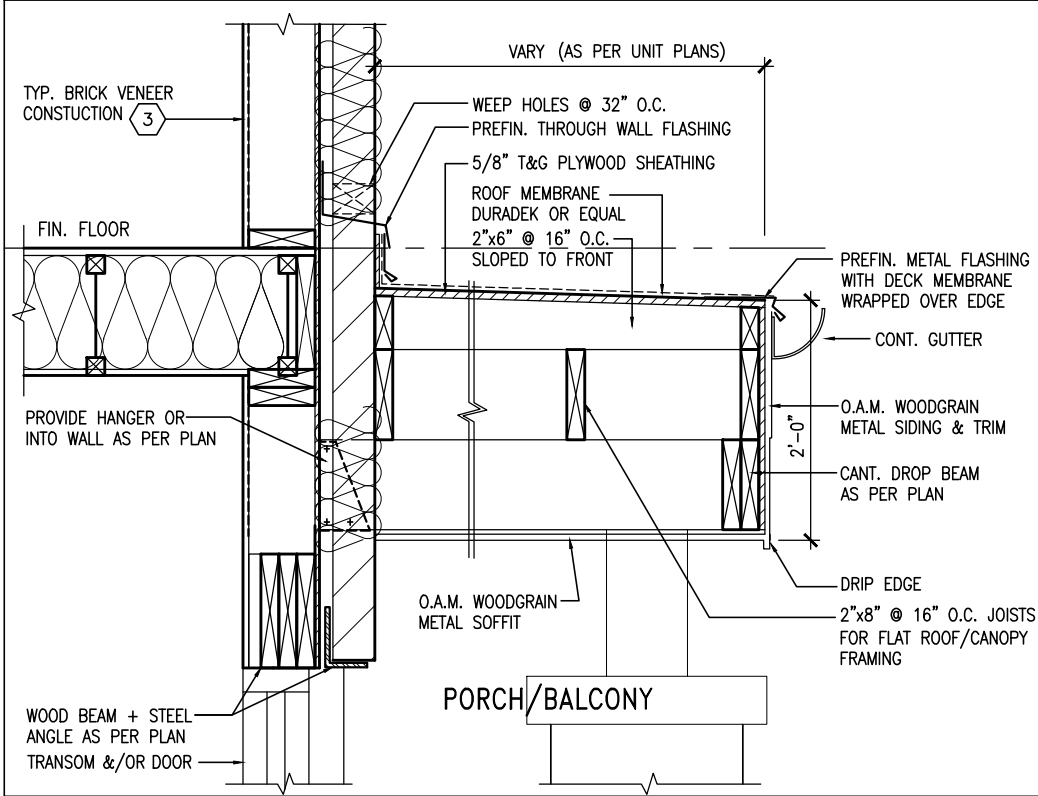
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2	ISSUED FOR PERMIT	23-02-27	JM		
1	ISSUED FOR CLIENT'S REVIEW	22-08-31	JM		
no.	description	date	by		

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FIELDGATE HOMES
project name: **MAYCHING**
drawing no.: **22006**
date: **JULY 2022**
checked by: **3/16" ± 1'-0"**
SALEEN, RATTANSI - G:\ARCHIVE\DESIGN\2020\2021\FEB\20021-TYPOLGY-sample_plans.dwg - Tue - Jan 21 2025 - 10:28 AM

MYBB-2
FLOOR PLANS ELEV. 'A'
20021-TYPOLGY-SAMPLE PLANS
1

FOR GEORGETOWN 21' BACK-TO-BACK TOWNS (#20021)



GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8(3)(c) & 3.8.3.8(3)(c); SHOWER: 3.8.3.13(2)(a); BATHTUB: 3.8.1.13(4)(a). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.
CB-NOTE-2020.04.04

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION
NOTE: REFER TO ROOF TRUSS SHOP DRAWINGS / MANUFACTURER FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE 1: SINGLE PLY ROOF MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING ON 2"x6" @ 16" O.C. SLOPED TO FRONT, PERP. TO 2"x8" FLR. JOISTS @ 16" O.C. WITH 1/2" GYPSUM SHEETING.
NOTE 2: DECKING BOARD W/ 1/4" SPACE ON ONE PLY RUBBER MEMBRANE ADHERED TO 5/8" EXT. GRADE T&G PLYWOOD SHEATHING ON 2"x6" PURLINS LAID PERP. TO JOIST, SLOPED TO GUTTER @ FRONT ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN ALUM. SOFFIT ON U/S UNDER EXPOSED AREAS.

SOIL TO HAVE MIN. 150 KPa BEARING CAPACITY FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6
FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" WEATHER PROOFED O.S.B. & TO BE GLUED & NAILED

NOTE: FLOOR FRAMING INFO. REFER TO FLOOR TRUSS MANUF. SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION & DETAILS UNLESS OTHERWISE NOTED
NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUF.

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2	ISSUED FOR PERMIT	23-02-27	JM
1	ISSUED FOR CLIENT'S REVIEW	22-08-31	JM
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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FIELDGATE HOMES		MYBB-2	
project name MAYCHING	municipality BRAMPTON, ONT.	project no. 22006	drawing no. 2
date JULY 2022			
drawn by BD, BM			
checked by RV			
scale 3/16" = 1'-0"			
file name 20021_TYPOLOGY-SAMPLE PLANS			
SALEENA RATTANSI - G:\ARCHIVE\DESIGN\2020\20021\FEB2021_TYPOLOGY-sample plans.dwg - Tue - Jan 21 2025 - 10:28 AM			

ROOF PLAN 'A'

FIBREGlass SHINGLES (TYP.)

5.75:12

6.75:12

1'-0"

1'-0"

5.75:12

6.75:12

7.75:12

16" OVERHANG

12" OVERHANG

VALLEY FLASHING (TYP.)

HORIZONTAL METAL SIDING (TYP.)

2" PREFIN ALUM. SURROUND (TYP.)

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

U/S OF SOFFIT

1"x5" ALUM. CLAD FRIEZE BD. (TYP.)

42" HIGH PREFIN. MTL. RAILING (TYP.)

FACE BRICK (TYP.)

CONT. PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH MASONRY COLOUR (TYP.)

MTL. FLASHING, W/ CAULKING BEHIND CLADDING (TYP.)

10" PREC. CONC. HEADER W/ 1/2" PROJ. (TYP.)

BUILT-UP WOODGRAIN METAL SIDING ON CANOPY

CANOPY SOFFITS FLUSH W/ U/S OF CANOPY (TYP.), SLOPE TO FRONT.

PREFIN. U/S ALUMN. SOFFIT (FL).

42" HIGH PREFIN. MTL. RAILING (TYP.)

PRECAST CONC. CAP (TYP.)

MASONRY PIER W/ CONC. CAP & 8"x8" PREFIN. ALUM. CLAD POST

PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)

GUTTER

TOP OF BALCONY GUTTER

PREFIN. MTL. FLASHING, BEYOND (TYP.)

10" PRECAST BAND W/ 1/2" PROJ. (TYP.)

10'-15" T.O. FLAT ROOF

ACCENT FACE BRICK (TYP.)

10" PREC. CONC. HEADER C/W MUNICIPAL ADDRESS PLAQUE W/ 1/2" PROJ. (TYP.)

PREFIN. U/S ALUMN. SOFFIT

FIN. GRADE

8'-0"x7'-0" O/H GARAGE DOOR

645.75 SQ. FT.

12.75 M (100%)

645.75 SQ. FT.

173.44 SQ. FT.

WALL AREA LIMITING DISTANCE OPENING ALLOWED OPENING PROVIDED

POURED CONC. PORCH SLAB & DOOR SILL

POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)

MAIN BRICK

ACCENT BRICK

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

ALL BRICK-WORK TO BE PROJECTED 1/2"

ALL ROOF OVERHANGS TO BE 12" UNLESS OTHERWISE NOTED

ROOF PLAN 'A'

PART. SECTION 'B'

PART. RIGHT SIDE
ELEVATION 'A'
PORTICO INTERIOR

PART. FRONT
ELEVATION 'A'
PORTICO INTERIOR

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2	ISSUED FOR PERMIT	23-02-27	JM
1	ISSUED FOR CLIENT'S REVIEW	22-08-31	JM
no.	description	date	by



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FIELDGATE HOMES

project name	municipality		
MAYCHING	BRAMPTON ONT		
date	FRONT ELEVATION 'A', PORTICO ELEVATION		
JULY 2022			
drawn by	checked by	scale	
BD.BIM	RV	3/16" = 1'-0"	2021_T
SALEENA RATTANSI - G:\ARCHIVE\DESIGN\2020\2021\FIE\2021 TYPOLOGY-sample plans.dwg - T			

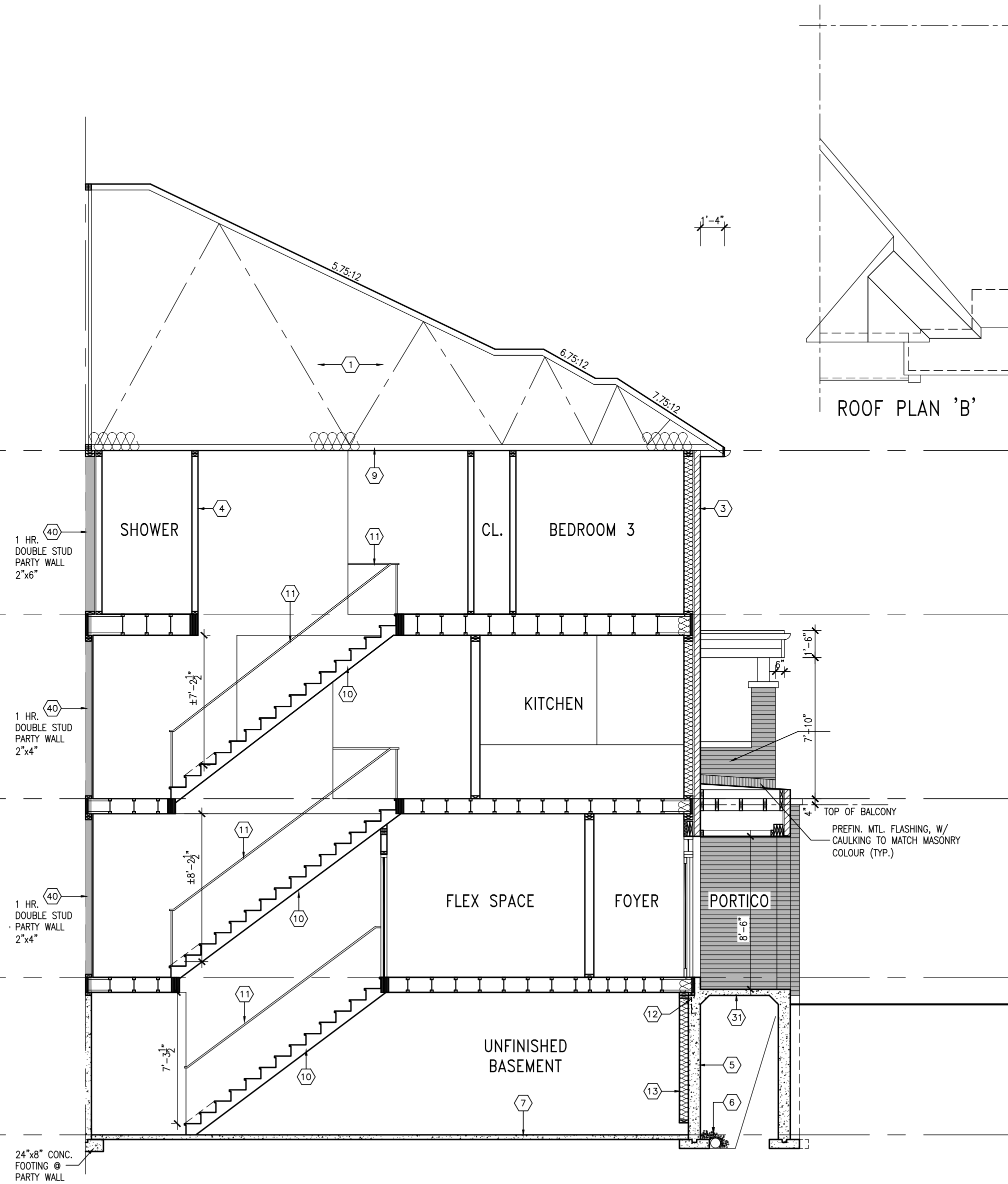
MYBB-2

project no. 22006	
SECTION B	drawing no. 3
file name SAMPLE PLANS	
25 - 10:28 AM	

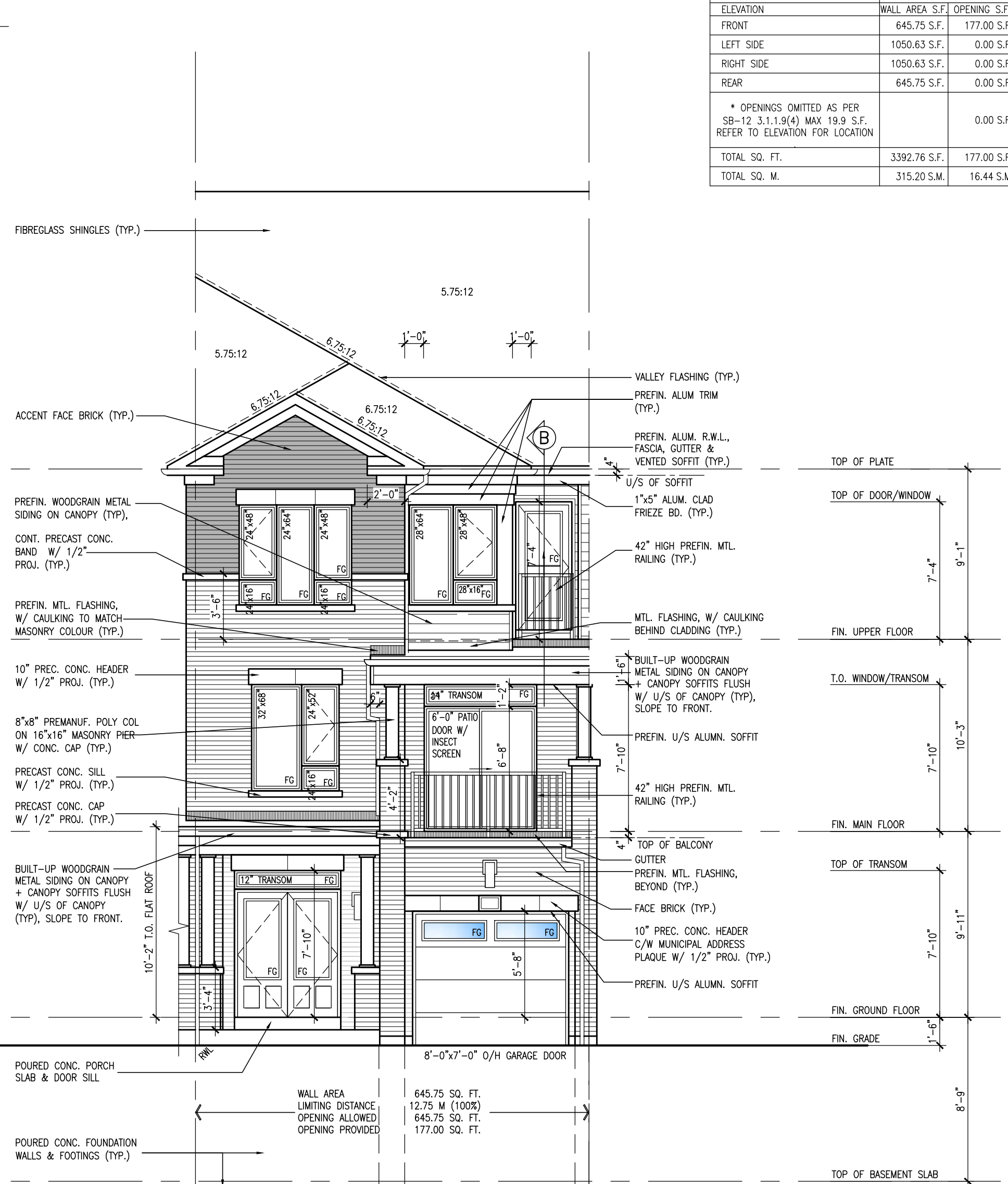
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FOR GEORGETOWN 21' BACK-TO-BACK TOWNS (#20021)

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1.(7))			
MYBB-2 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	645.75 S.F.	177.00 S.F.	27.41 %
LEFT SIDE	1050.63 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	1050.63 S.F.	0.00 S.F.	0.00 %
REAR	645.75 S.F.	0.00 S.F.	0.00 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3392.76 S.F.	177.00 S.F.	5.22 %
TOTAL SQ. M.	315.20 S.M.	16.44 S.M.	5.22 %



CROSS SECTION 'A-A'



FRONT ELEVATION 'B'

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2	ISSUED FOR PERMIT	23-02-27	J
1	ISSUED FOR CLIENT'S REVIEW	22-08-31	J
no.	description	date	

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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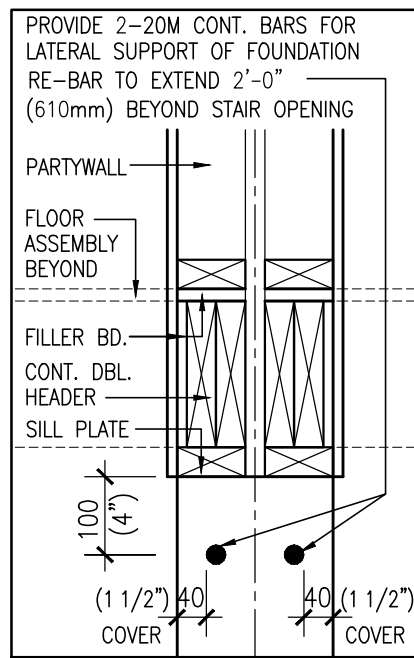
FIELDGATE HOMES

MYBB-2

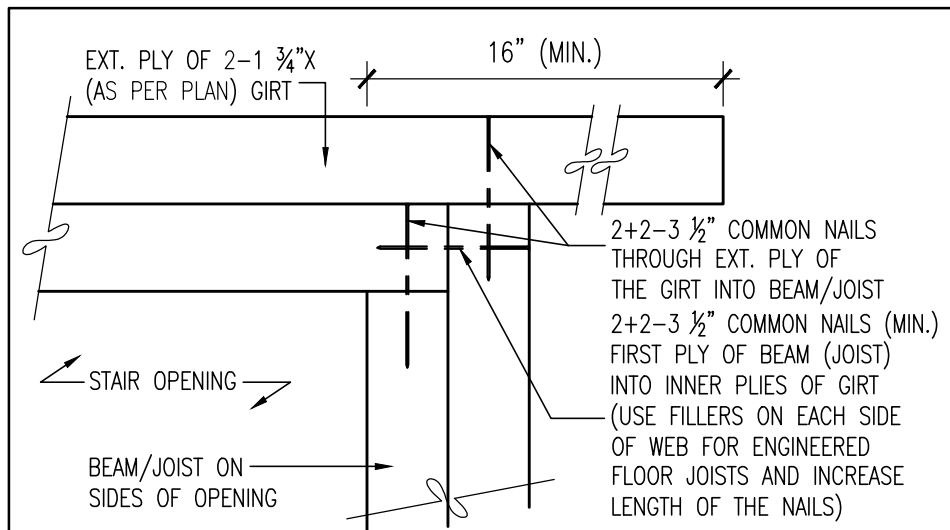
project name MAYCHING	project location BRAMPTON ONT.	project no. 22006
date JULY 2022		drawing no. <div style="font-size: 48pt; text-align: center;">4</div>
<div style="text-align: center;"> SECTION 'A-A' & FRONT ELEV 'B' </div>		
drawn by BD.BIM	checked by RV	
scale 3/16" = 1'-0"		
file name 20201_TYPOLOGY-SAMPLE PLANS		
SALEENA RATTANSI ~ C:\ARCHIVE\DESIGN\2020\20201_FIE\20201_TYPOLOGY-sample plans.dwg ~ Tue - Jan 21 2025 - 10:28 AM		

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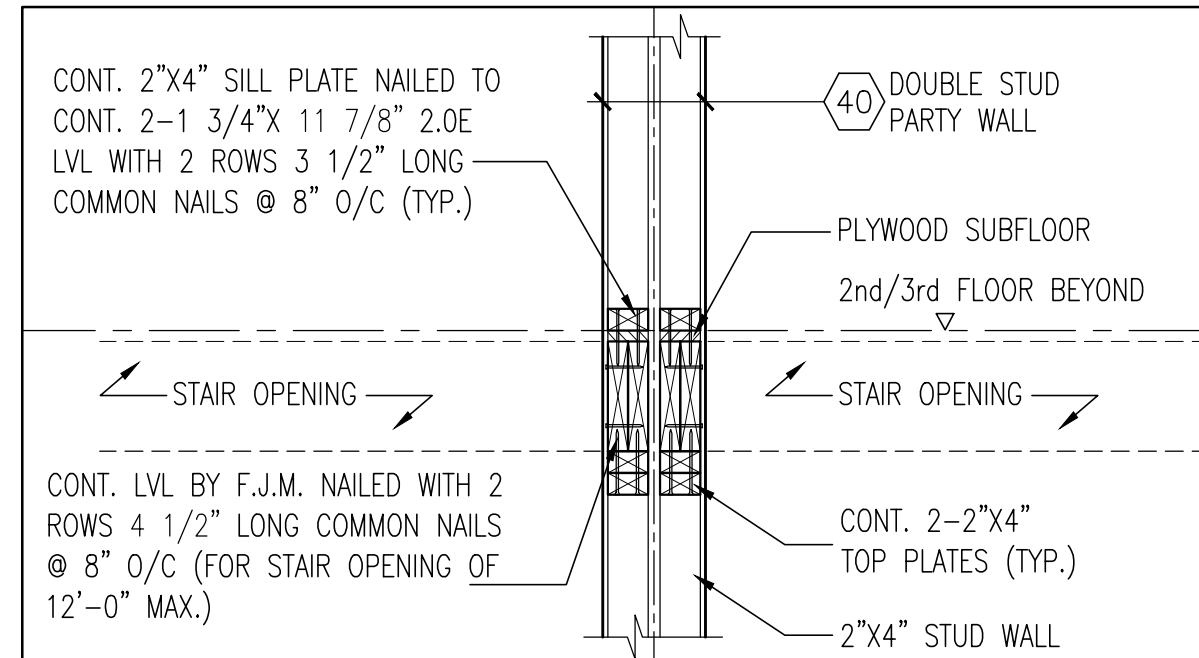
FOR GEORGETOWN 21' BACK-TO-BACK TOWNS (#20021)



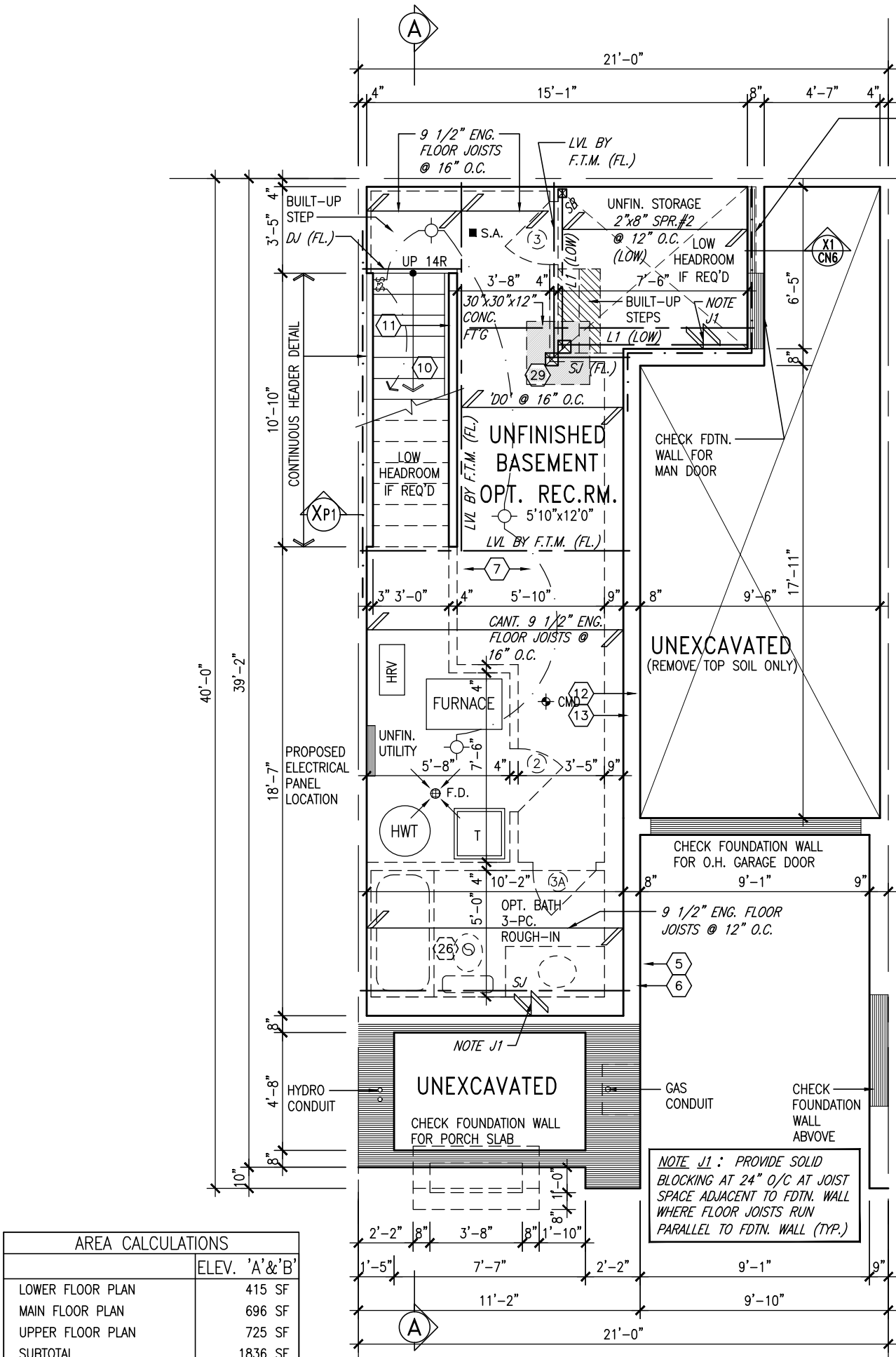
XP1 SECTION AT TOP OF FOUNDATION / PARTY WALL



XPY PLAN VIEW OF 2 PLY GIRT AT DETAIL XP2 LATERAL SUPPORT OF STAIR OPENING



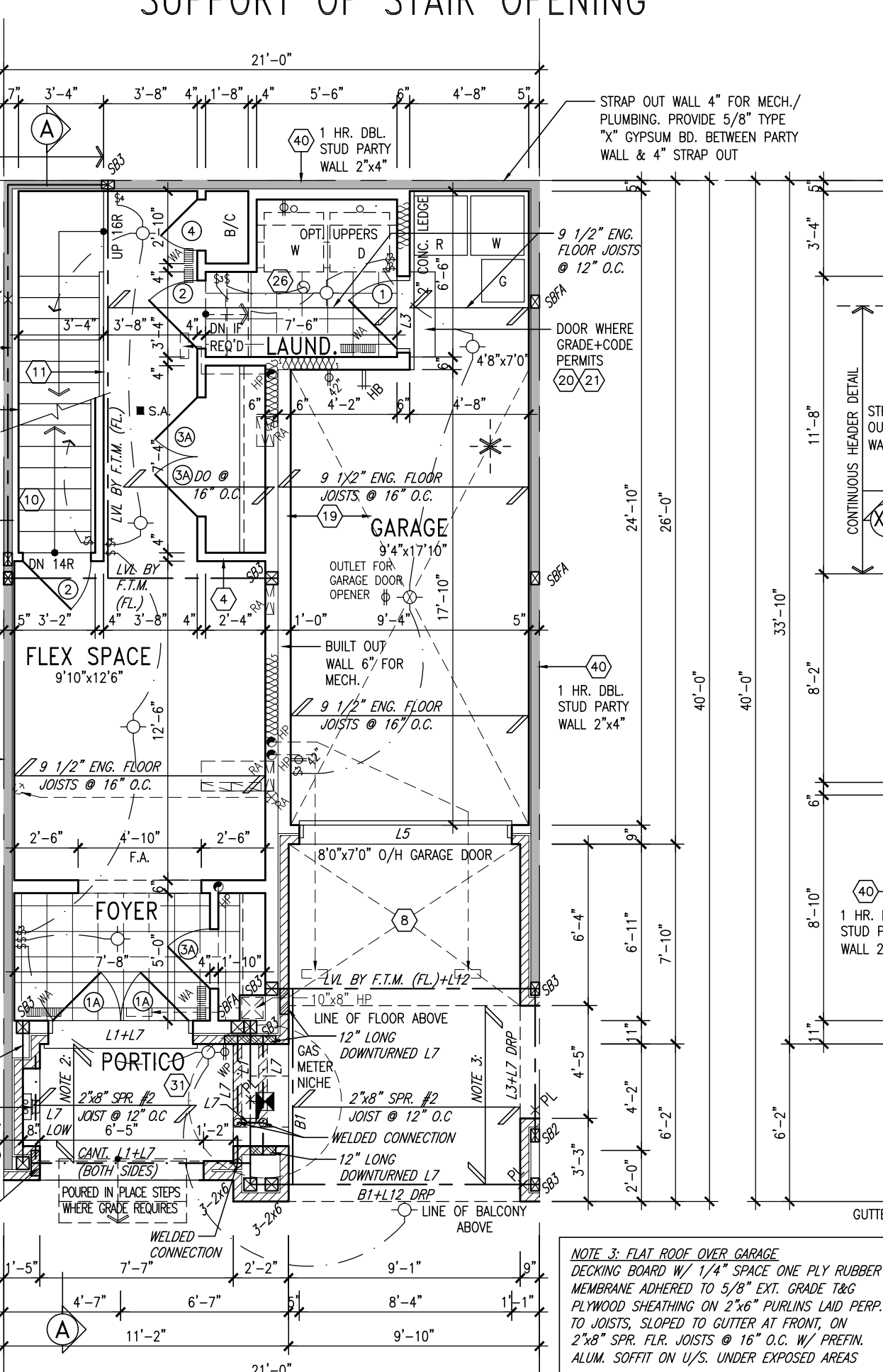
XP2 SECTION AT INT. PARTYWALL SUPPORT AT STAIR OPENING



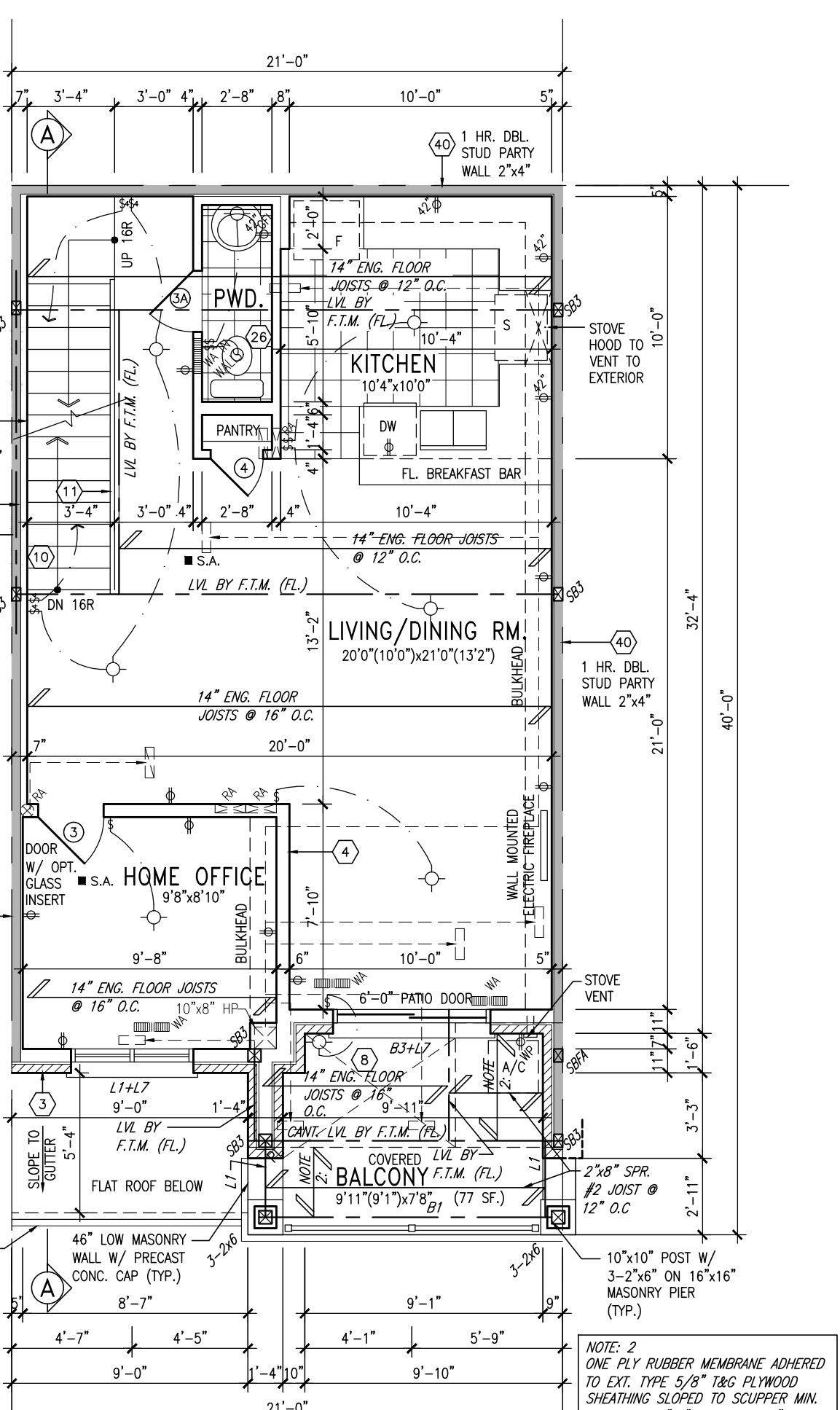
BASEMENT PLAN 'A' & 'B'

AREA CALCULATIONS	
	ELEV. 'A' & 'B'
LOWER FLOOR PLAN	415 SF
MAIN FLOOR PLAN	696 SF
UPPER FLOOR PLAN	725 SF
SUBTOTAL	1836 SF
DEDUCT ALL OPENINGS	0 SF
TOTAL NET AREA	1836 SF
	170.57 m ²
FINISHED BSMT AREA	0 SF
COVERAGE W/OUT PORCH	633 SF
	58.81 m ²
COVERAGE W/ PORCH	693 SF
	64.38 m ²

NOTE: 2 ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING SLOPED TO SCUPPER MIN. 2% SLOPE 2"x8" JOISTS @ 12" O.C. 2"x6" CEILING JOISTS W/ PREFIN ALUM. SOFFIT ON U/S



LOWER LEVEL PLAN 'A'

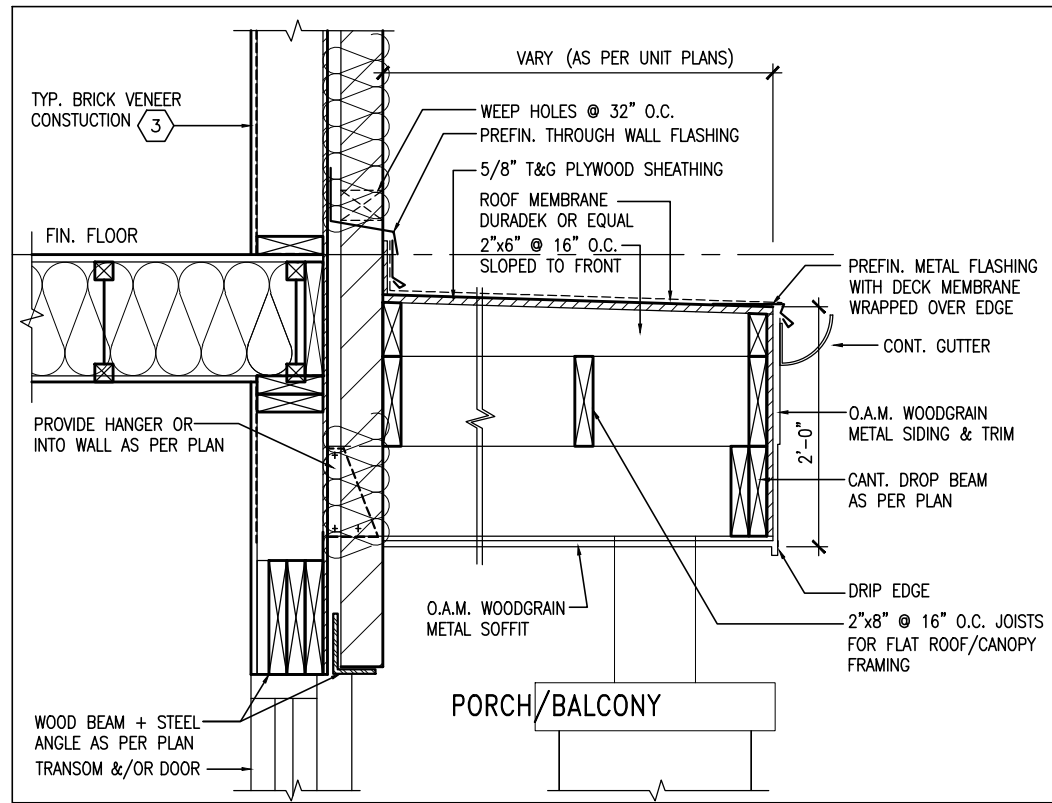


MAIN LEVEL PLAN 'A'

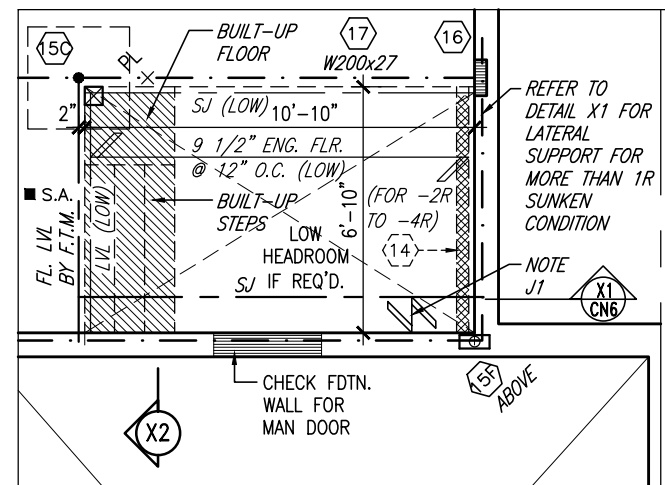
VAD DESIGN		FIELDGATE HOMES		MYBB-3	
255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 416.630.2255 / 416.630.4782 va3design.com		project name MAYCHING		municipality BRAMPTON, ONTARIO	
date JULY 2022		checked by 3/16" ± 1'-0"		project no. 22006	
drawn by NS		scale 3/16" ± 1'-0"		drawing no. 1	
2 ISSUED FOR PERMIT 23-02-27 JM		contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		FLOOR PLANS 'A'	
1 ISSUED FOR CLIENT'S REVIEW 22-08-31 JM				20021-TYPOLGY-SAMPLE PLANS	
no. description				SALEEN, RATTANSI - G:\ARCHIVE\DESIGN\2020\20021\FEB2021-TYPOLGY-sample plans.dwg - Tue - Jan 21 2025 - 10:28 AM	

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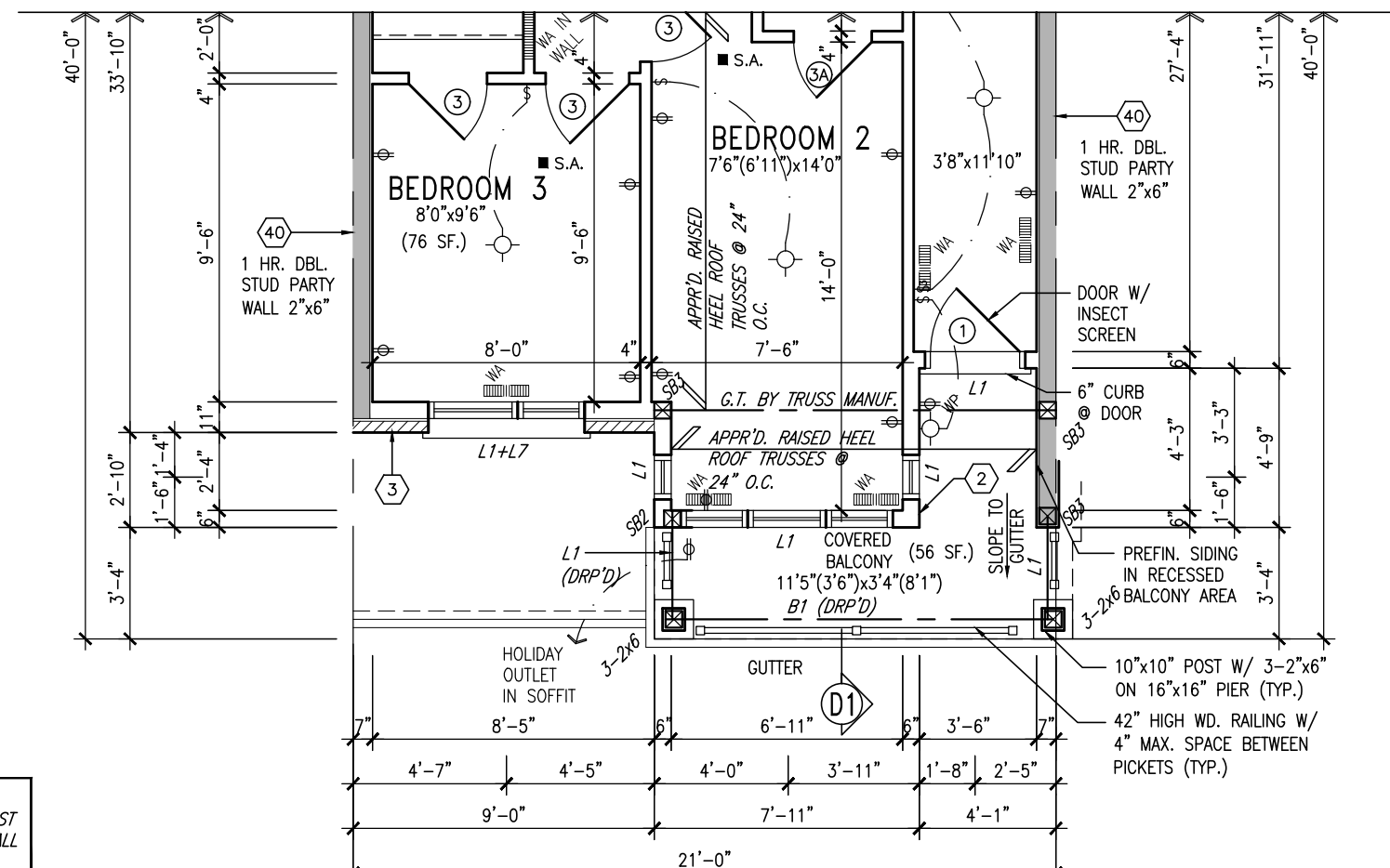
FOR GEORGETOWN 21' BACK-TO-BACK TOWNS (#20021)



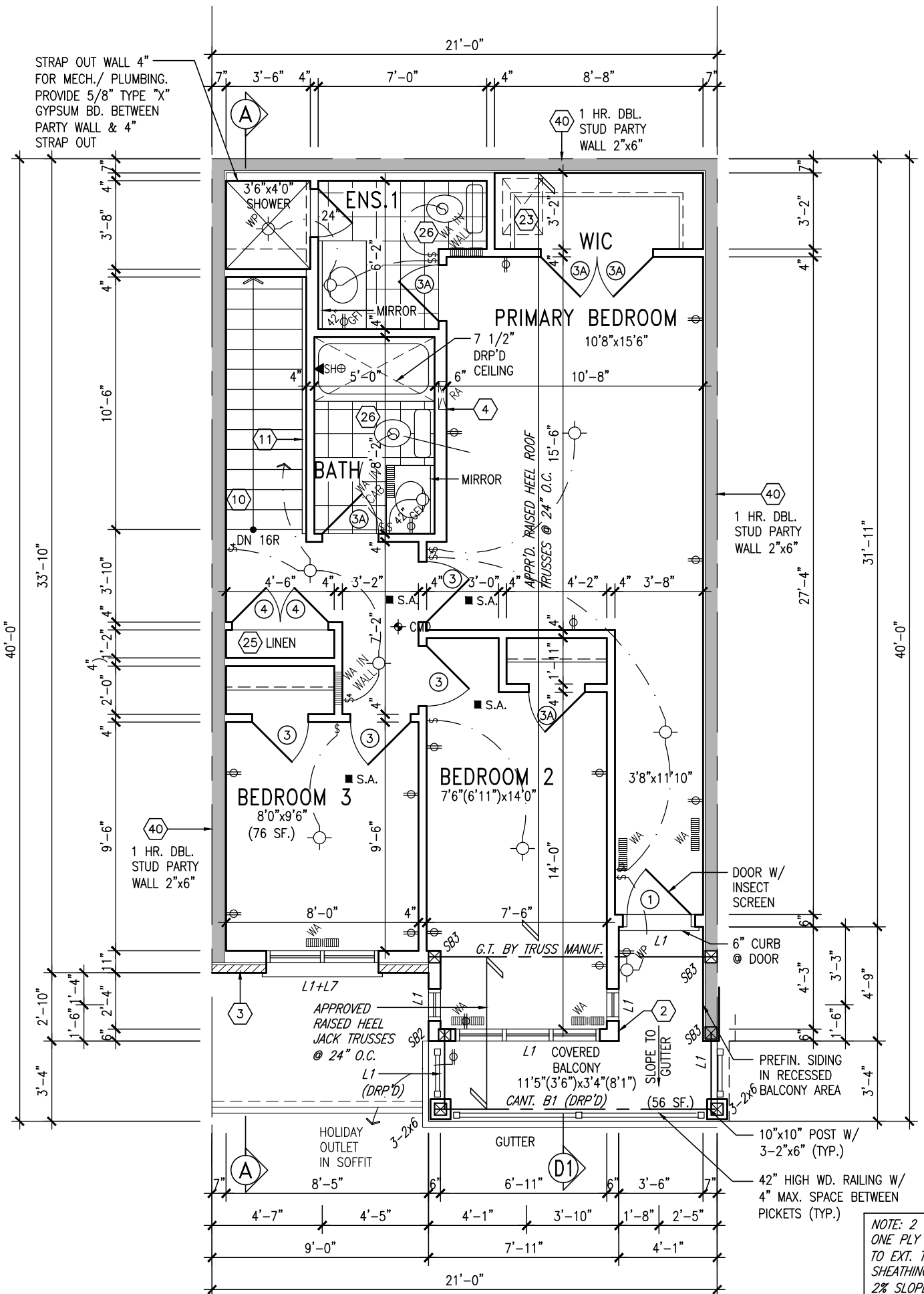
C1 SECTION THROUGH FLAT ROOF OVER PORCH /BALCONY SCALE 3/4"=1'-0"



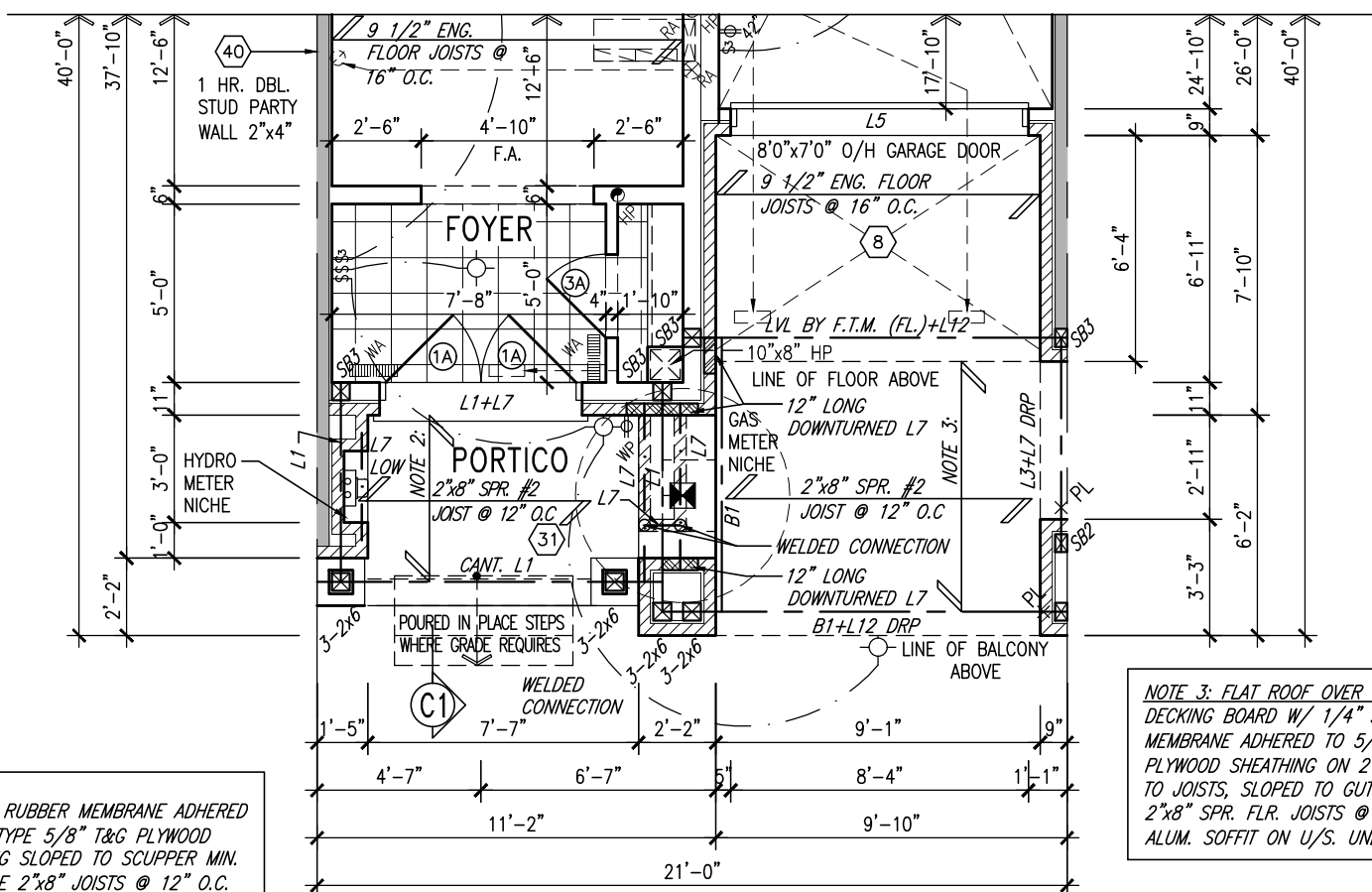
PARTIAL BASEMENT PLAN - SUNKEN PWD



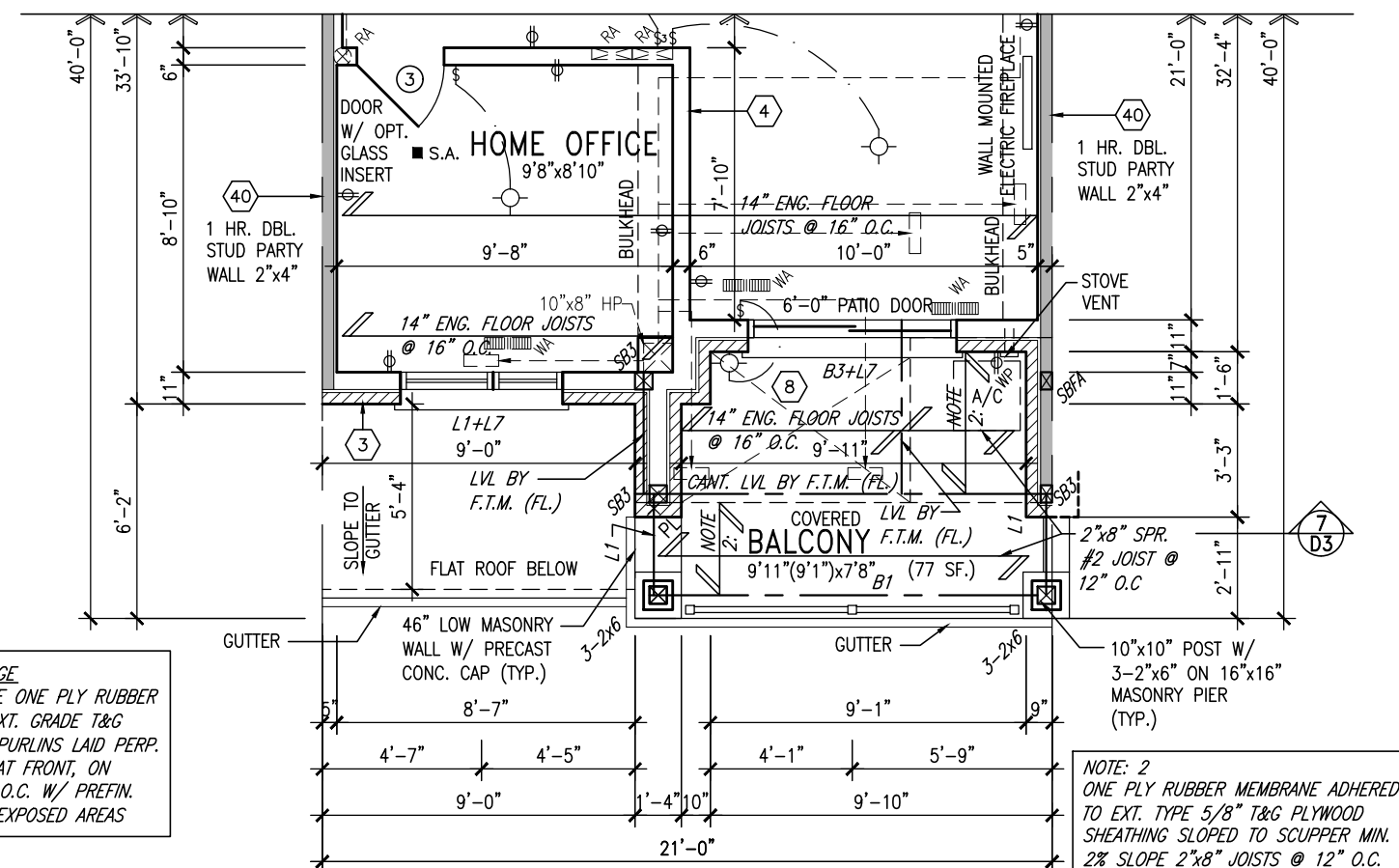
PARTIAL UPPER LEVEL PLAN 'B'



UPPER LEVEL PLAN 'A'



PARTIAL LOWER LEVEL PLAN 'B'



PARTIAL MAIN LEVEL PLAN 'B'

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSET AND SHOWER OR BATHTUB IN MAIN BATHROOM PER CBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8(3)(a) & 3.8.3.8(3)(c); SHOWER 3.8.3.13(2)(g); BATHTUB 3.8.3.13(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.
2020-04-03

NOTE:
REFER TO ROOF TRUSS SHOP DRAWINGS /MANUFACTURER FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE: 2
ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING SLOPED TO SCUPPER MIN. 2% SLOPE 2"x8" JOISTS @ 12" O.C. 2"x6" CEILING JOISTS W/ PREFIN ALUM. SOFFIT ON U/S

NOTE 3: FLAT ROOF OVER GARAGE
DECKING BOARD W/ 1/4" SPACE ONE PLY RUBBER MEMBRANE ADHERED TO 5/8" EXT. GRADE T&G PLYWOOD SHEATHING ON 2"x6" PURLINS LAID PERP. TO JOISTS, SLOPED TO GUTTER AT FRONT, ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S. UNDER EXPOSED AREAS

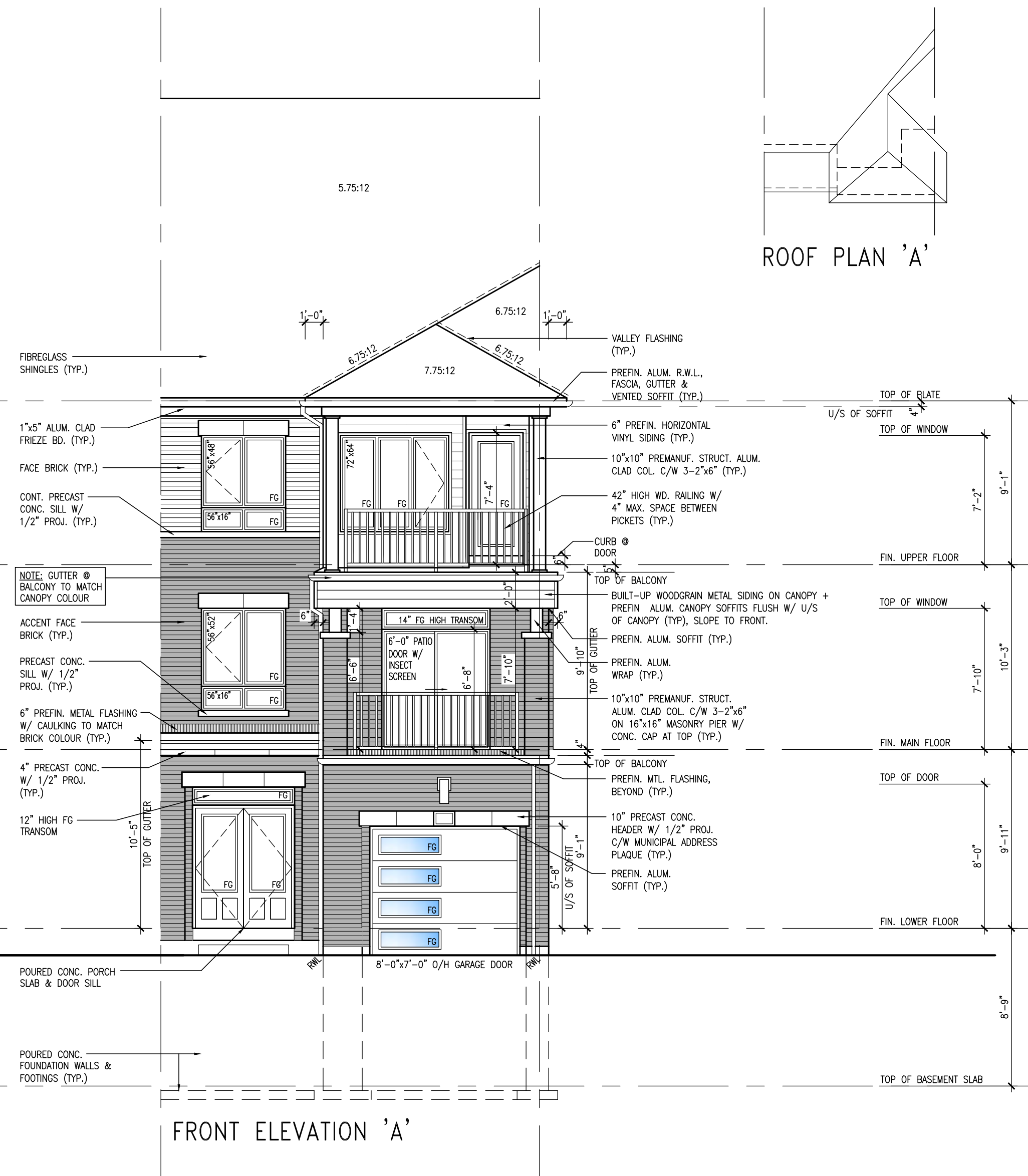
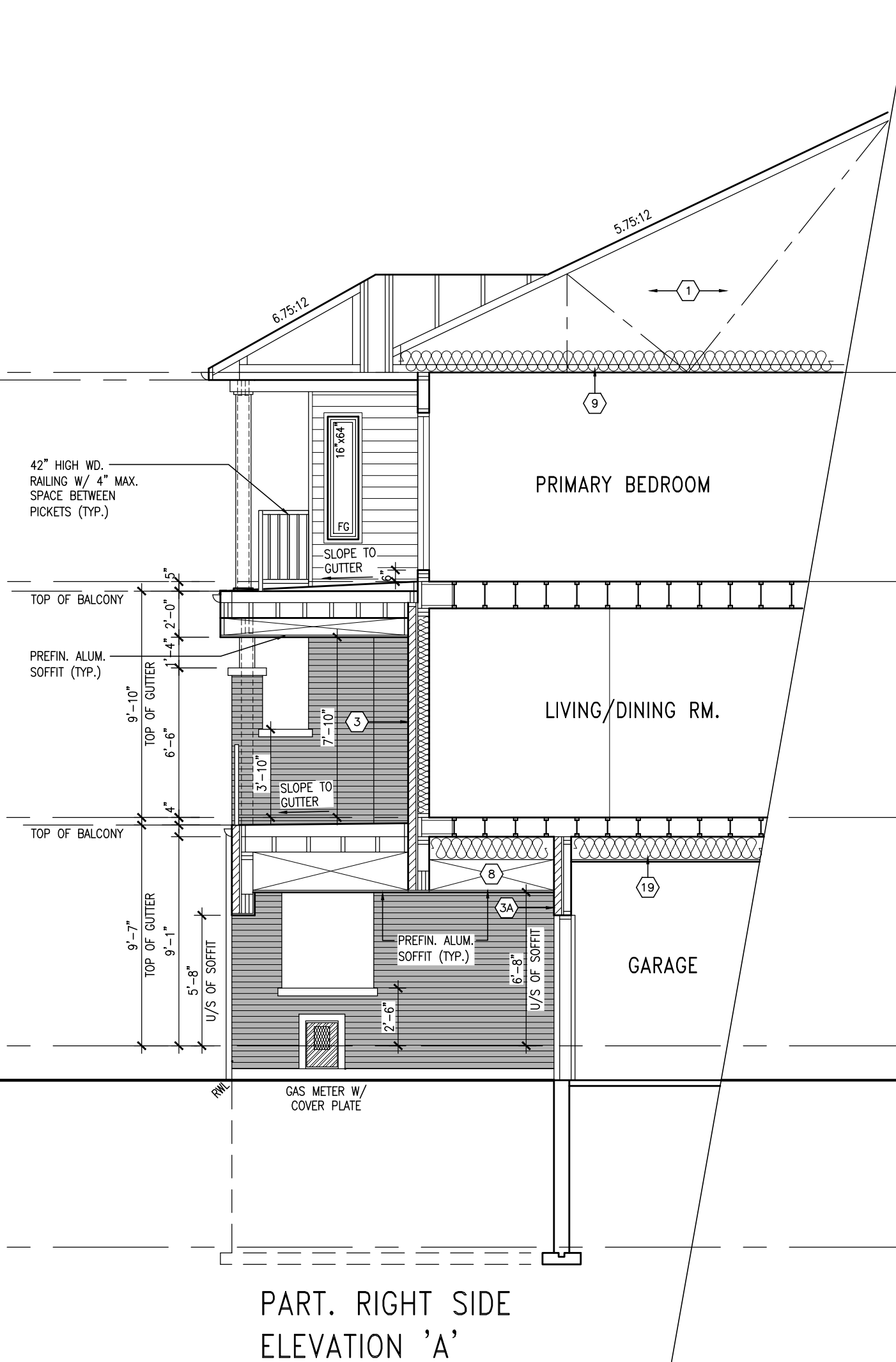
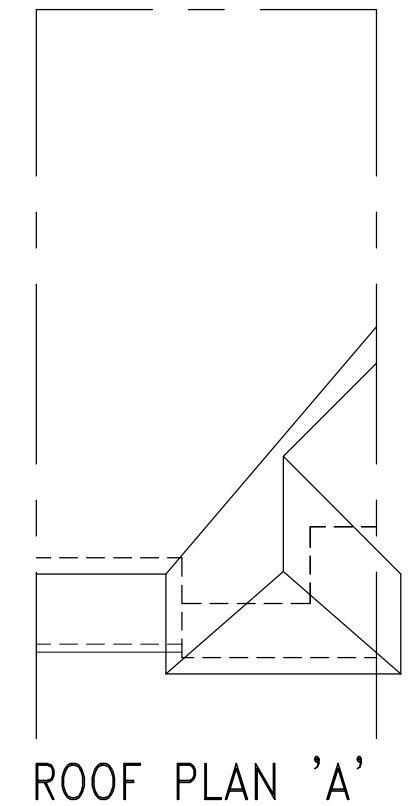
NOTE: 2
ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING SLOPED TO SCUPPER MIN. 2% SLOPE 2"x8" JOISTS @ 12" O.C. 2"x6" CEILING JOISTS W/ PREFIN ALUM. SOFFIT ON U/S

V3 DESIGN		FIELDGATE HOMES		MYBB-3	
project name MAYCHING		municipality BRAMPTON, ONTARIO		project no. 22006	
date JULY 2022		scale 3/16" = 1'-0"		drawing no. 2	
drawn by NS		checked by SALEENA RATTANSI		20021 TYPOLOGY-SAMPLE PLANS	
2 ISSUED FOR PERMIT 23-02-27		2 ISSUED FOR CLIENT'S REVIEW 22-08-31		255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 416.630.2255 / 416.630.4782 va3design.com	
no. description		date by		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

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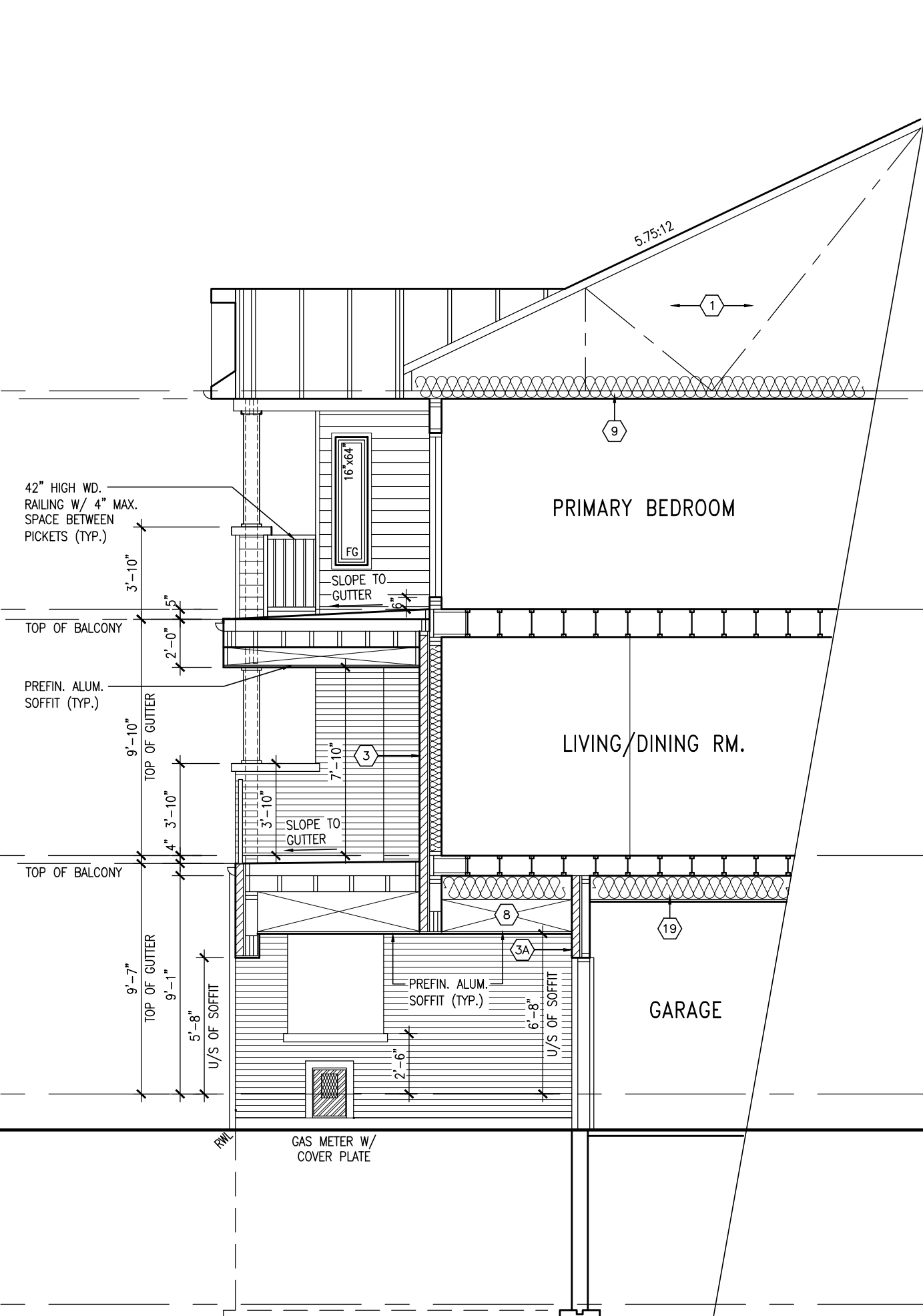
FOR GEORGETOWN 21' BACK-TO-BACK TOWNS (#20021)

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
MYBB-3 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	646 S.F.	175.89 S.F.	27.23 %
LEFT SIDE	1066 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	1066 S.F.	17.78 S.F.	1.67 %
REAR	646 S.F.	0.00 S.F.	0.00 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3424.00 S.F.	193.67 S.F.	5.66 %
TOTAL SQ. M.	318.10 S.M.	17.99 S.M.	5.66 %

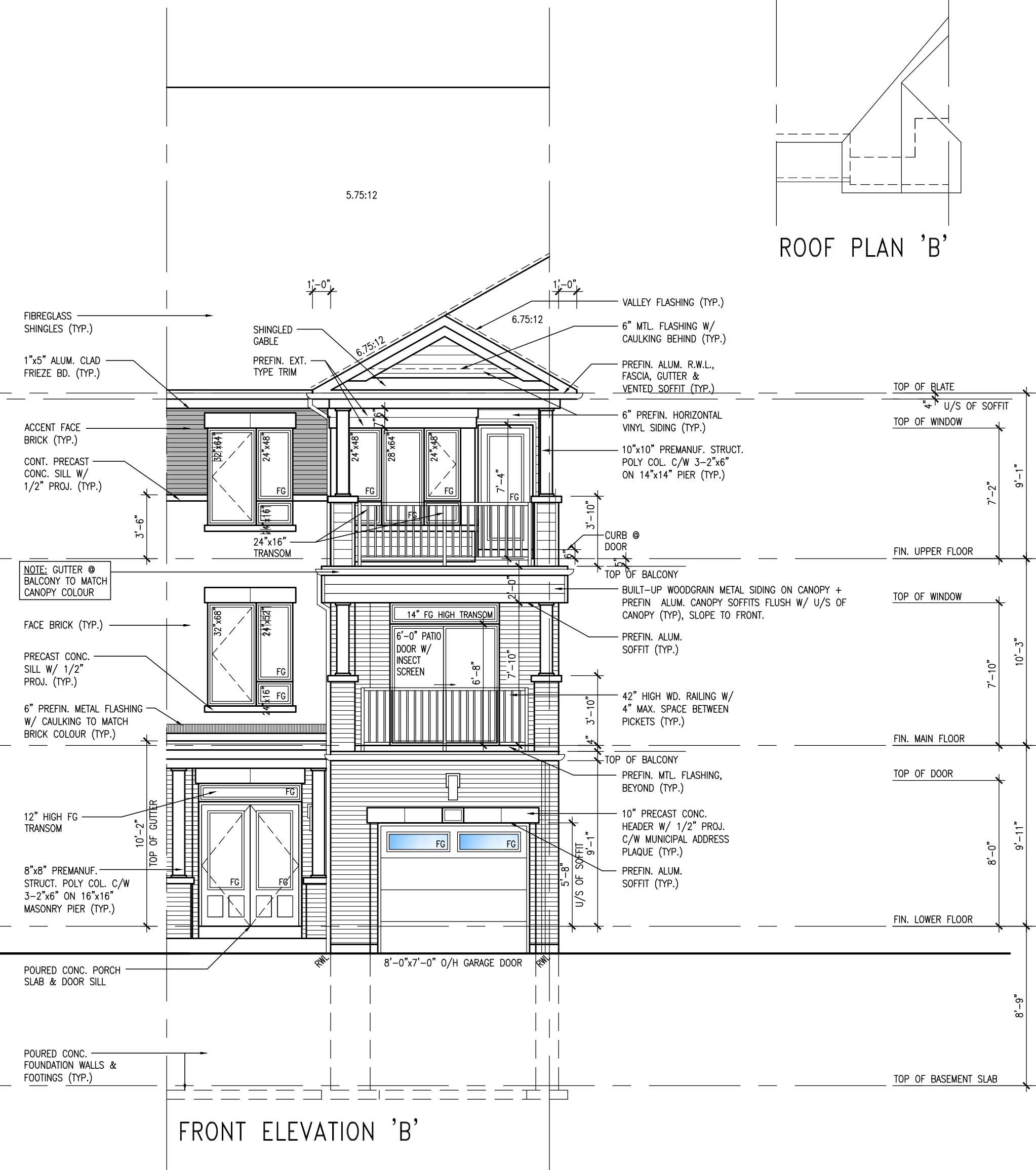
[illegible]

FOR GEORGETOWN 21' BACK-TO-BACK TOWNS (#20021)

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
MYBB-3 ELEVATION B		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	646 S.F.	177.64 S.F.	27.50 %
LEFT SIDE	1066 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	1066 S.F.	17.78 S.F.	1.67 %
REAR	646 S.F.	0.00 S.F.	0.00 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3424.00 S.F.	195.42 S.F.	5.71 %
TOTAL SQ. M.	318.10 S.M.	18.15 S.M.	5.71 %



PART. RIGHT SIDE
ELEVATION 'B'

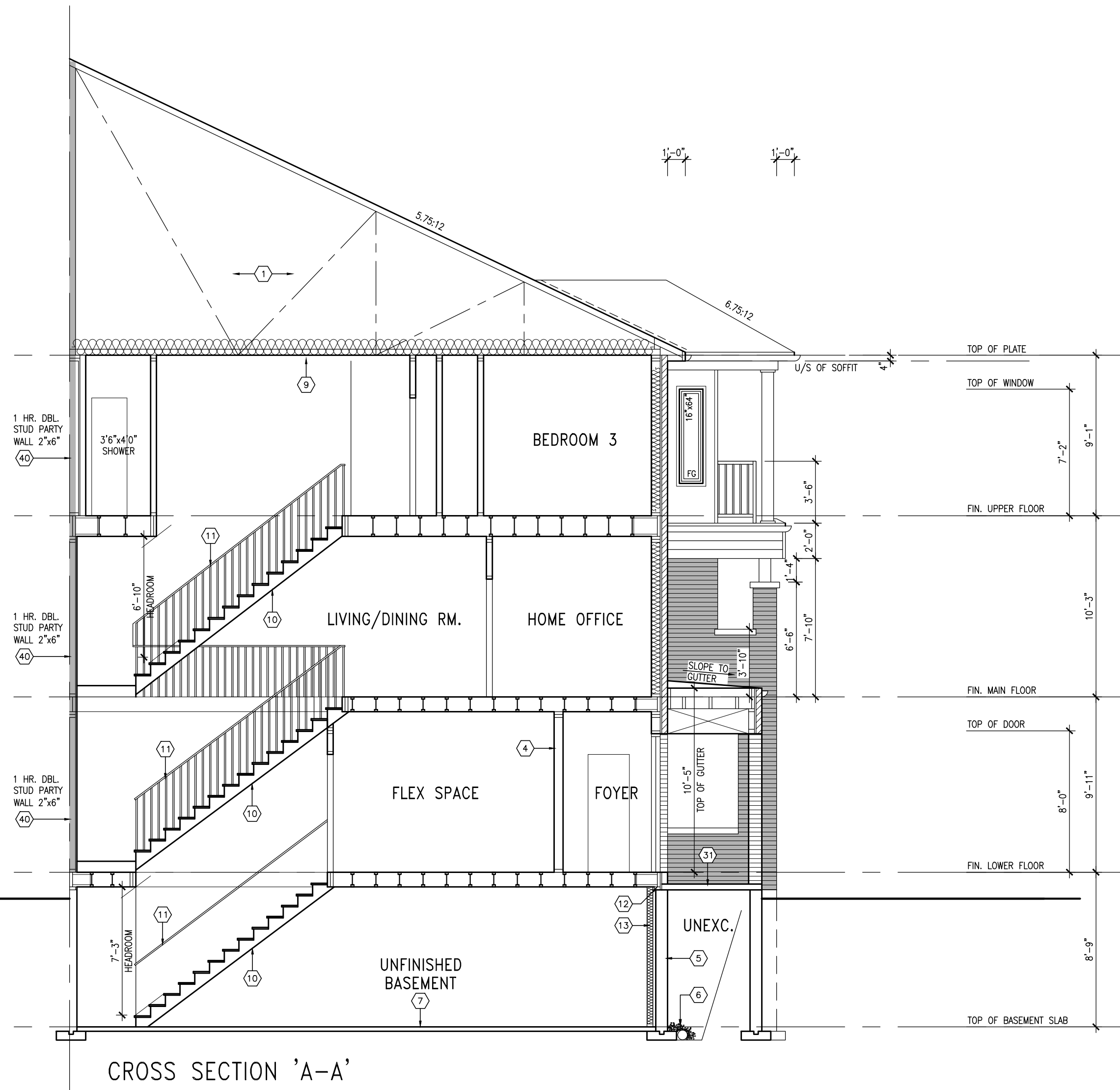


FRONT ELEVATION 'B'

[illegible]

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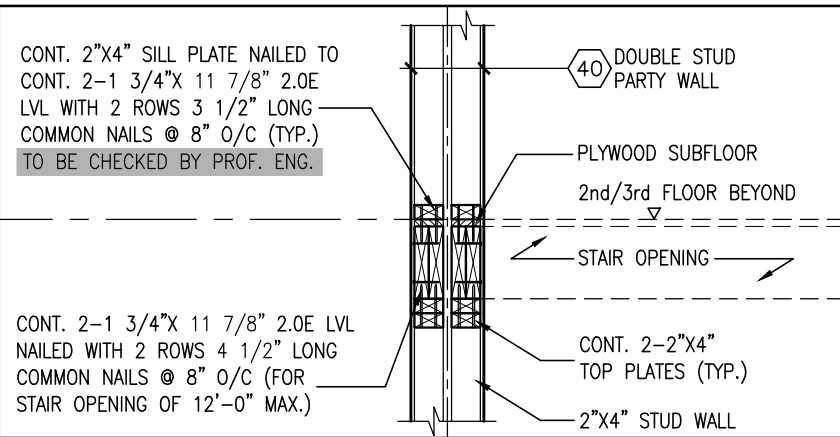
FOR GEORGETOWN 21' BACK-TO-BACK TOWNS (#20021)



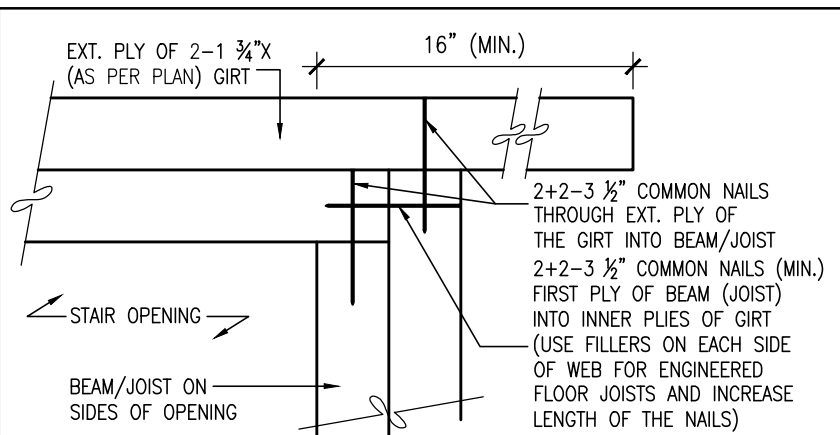
CROSS SECTION 'A-A'

[illegible]

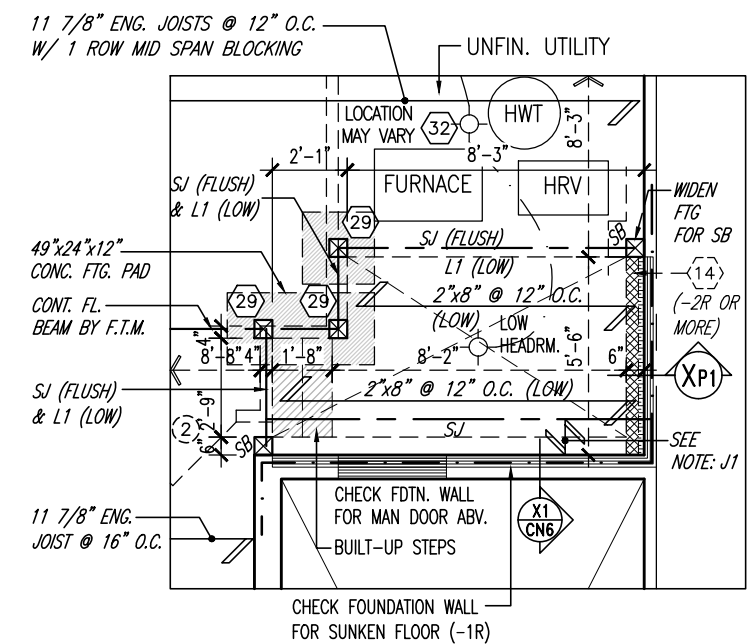
FOR GEORGETOWN 20' STREET TOWNS (#20021)



SECTION AT INT. PARTYWALL
SUPPORT AT STAIR OPENING



PLAN VIEW OF 2 PLY GIRT
AT DETAIL XP2 LATERAL
SUPPORT OF STAIR OPENING



PART. BASEMENT PLAN
FOR SUNKEN COND.

NOTE: REINFORCEMENT BARS
* PROVIDE 2-15M HORIZONTAL REINFORCING EACH SIDE FACE OF FOUNDATION WALL AND 4\"/>

BASEMENT INSULATION AT STAIR
-2\"/>

SOLID BLOCKING NOTE: J1
PROVIDE SOLID BLOCKING AT 24\"/>

SB: SOLID BEARING UNDER BEAM/TRUSS.
-NUMBER OF SB PLIES TO MATCH NUMBER OF BEAM/TRUSS PLIES (MINIMUM 2 PLIES)

SOIL TO HAVE MIN. 150 kPa BEARING CAPACITY
FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6
FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4\"/>

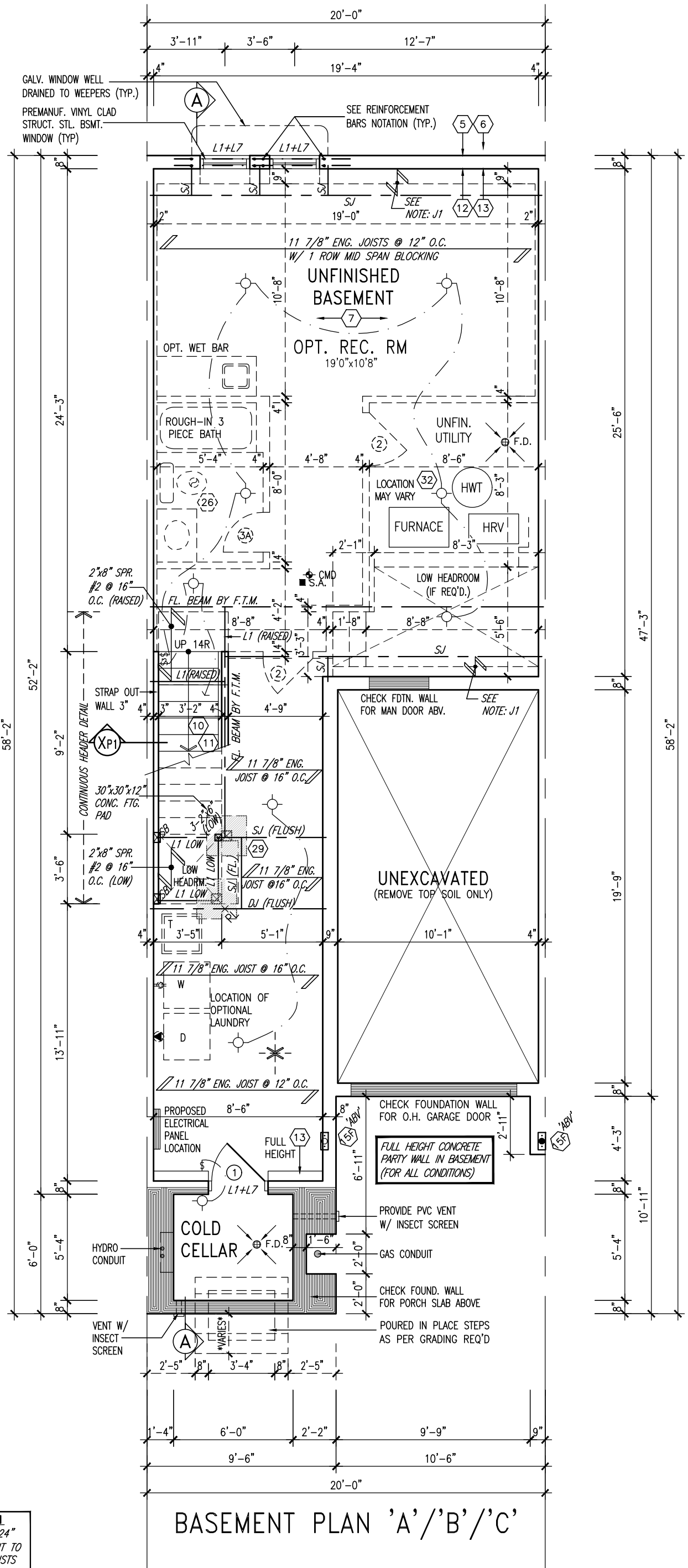
NOTE: FLOOR FRAMING INFO. REFER TO FLOOR TRUSS MANUF. SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION & DETAILS UNLESS OTHERWISE NOTED
NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUF.

NOTE: FW
2x6\"/>

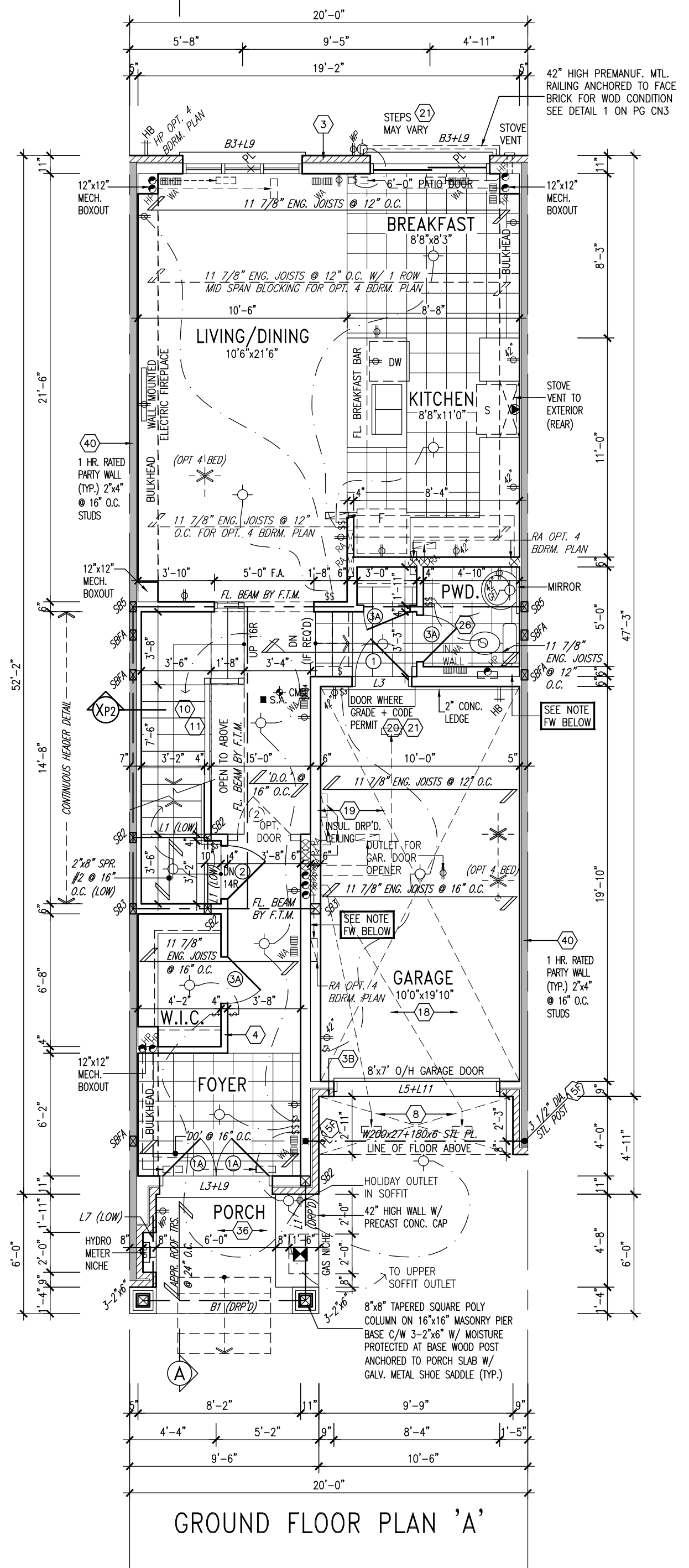
DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0\"/>	8'0\"/>
10'0\"/>	8'0\"/>
9'0\"/>	6'8\"/>
8'0\" or lower	6'8\"/>

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST. 3.0m

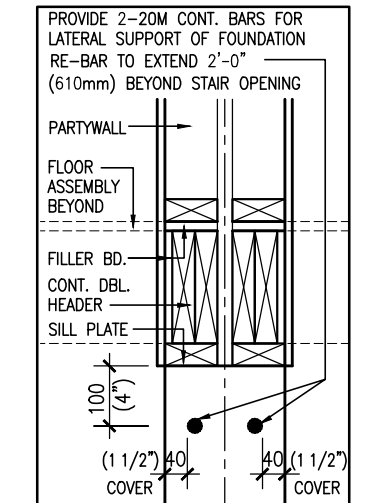
NOTE: PORCH POSTS
BUILT-UP PORCH POSTS SHALL BE SEPARATED FROM THE CONC. SLAB W/ 0.05 MIL POLY OR TYPE 'S' ROLL ROOFING.



BASEMENT PLAN 'A'/'B'/'C'



GROUND FLOOR PLAN 'A'



SECTION AT TOP
OF FOUNDATION
/ PARTYWALL

AREA CALCULATIONS	
	ELEV. A/B/C
GROUND FLOOR AREA	777.3 SF
SECOND FLOOR AREA	1022.3 SF
SUBTOTAL	1799.6 SF
SUBTRACT ALL OPENINGS	12 SF
TOTAL NET AREA	1787 SF
	166.0 m2
OPT. FIN. BSMT AREA	379.4 SF
TOTAL NET AREA	2167 SF
W/ OPT. FIN. BSMT	201.3 m2
COVERAGE W/O PORCH	993.9 SF
COVERAGE W/PORCH	92.3 m2
	1050.9 SF
	97.6 m2

no.	description	date	by
2	COORDINATED FLOOR LAYOUTS	SEPT. 5/23/NS	
1	ISSUED FOR CLIENT REVIEW	JAN. 31/23/JM	

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

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FIELDGATE HOMES

project name
—
municipality
CALEDON, ONTARIO

unit name
—
unit no.
19022

CATH-2

BASEMENT & GROUND FLOOR PLAN 'A'

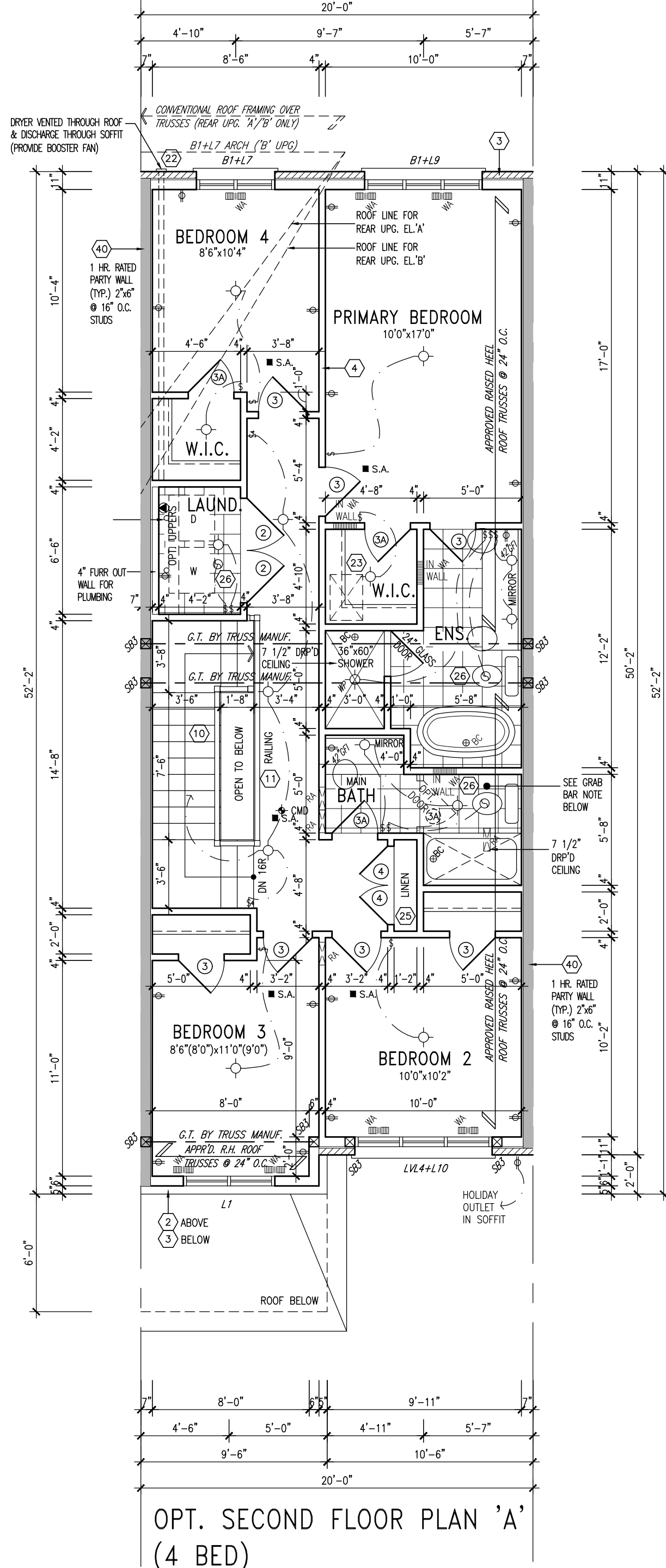
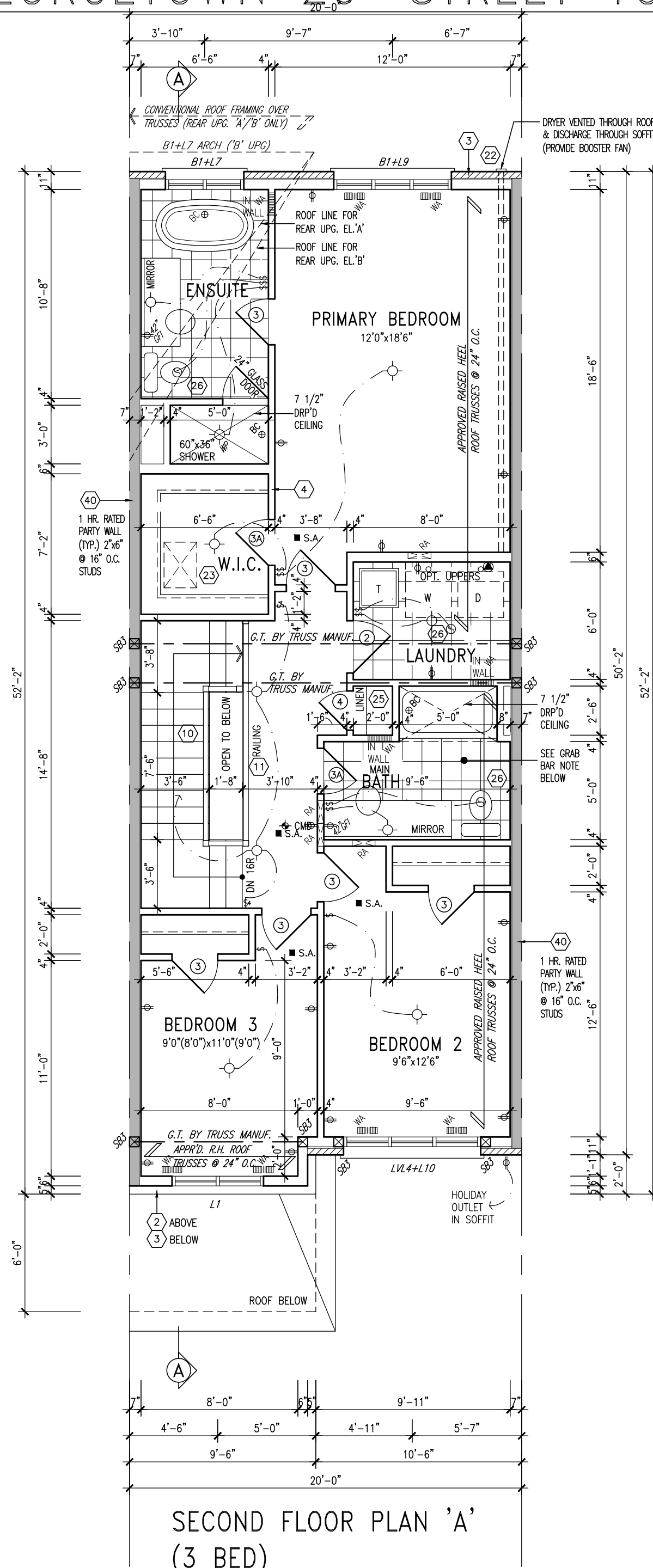
date
DEC. 2022

scale
3/16\"/>

drawing no.
1

20221_TYPOLOGY-SAMPLE PLANS

FOR GEORGETOWN 20' STREET TOWNS (#20021)



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2.	COORDINATED FLOOR LAYOUTS	SEPT. 5/23 NS
1.	ISSUED FOR CLIENT REVIEW	JAN. 31/23 JM
no.	description	date by

V3 DESIGN

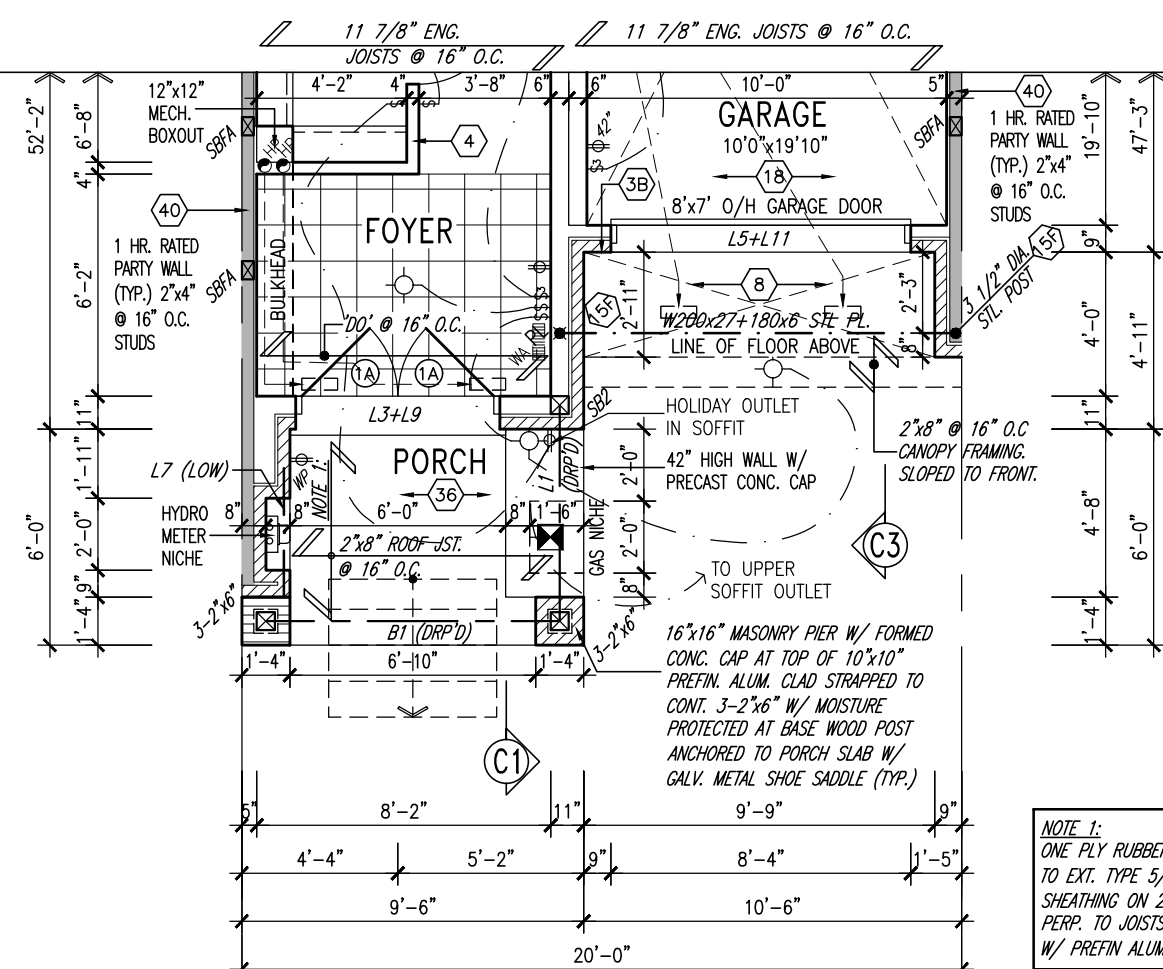
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

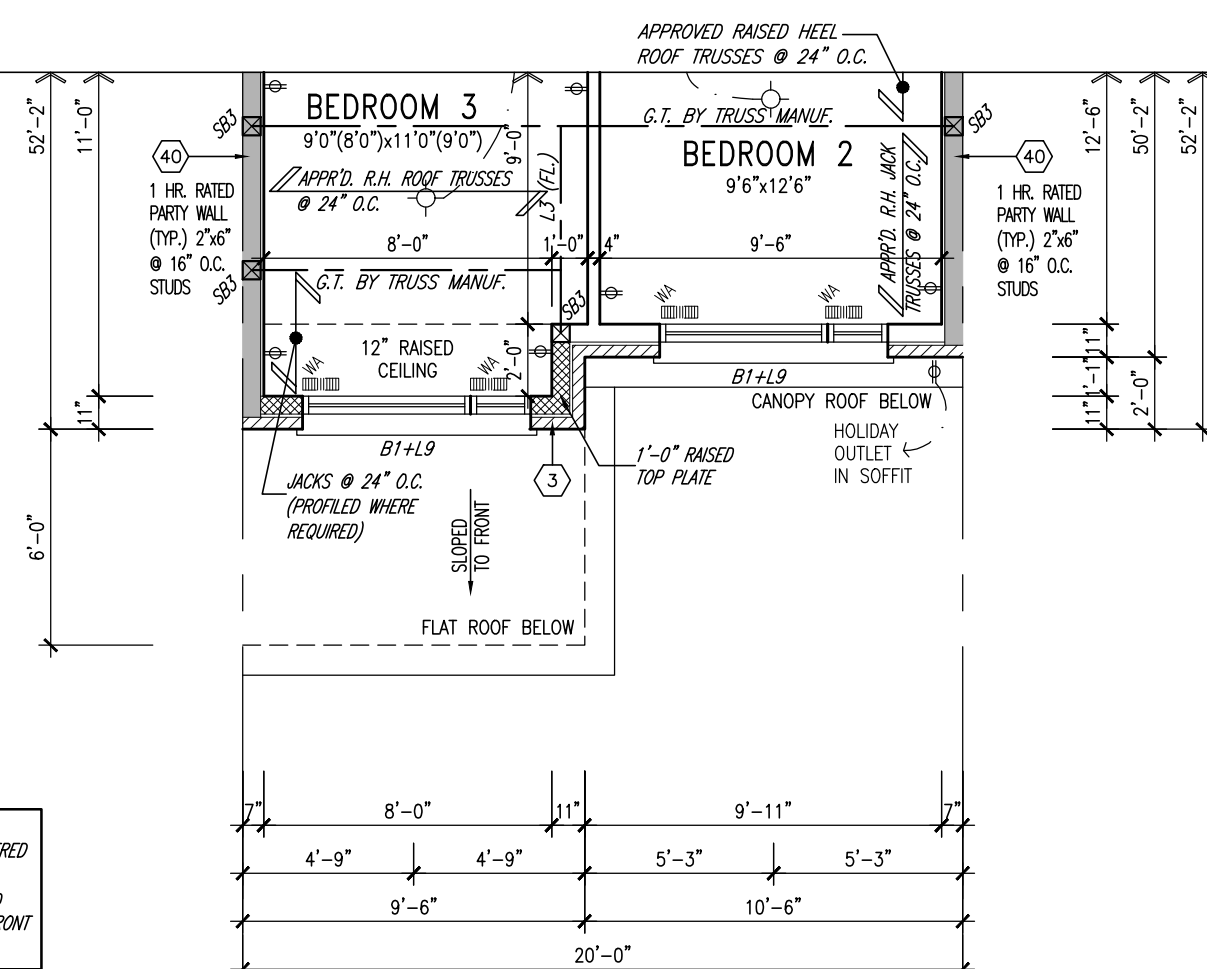
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FIELDGATE HOMES	
project name	—
municipality	CALEDON, ONTARIO
unit name	—
project no.	19022
unit no.	—
CATH-2	
SECOND/OPT. SECOND FLOOR PLAN 'A'	
date	DEC. 2022
scale	3/16" = 1'-0"
drawn by	TP
checked by	—
file name	20021_TYPOLOGY-SAMPLE PLANS
drawing no.	2

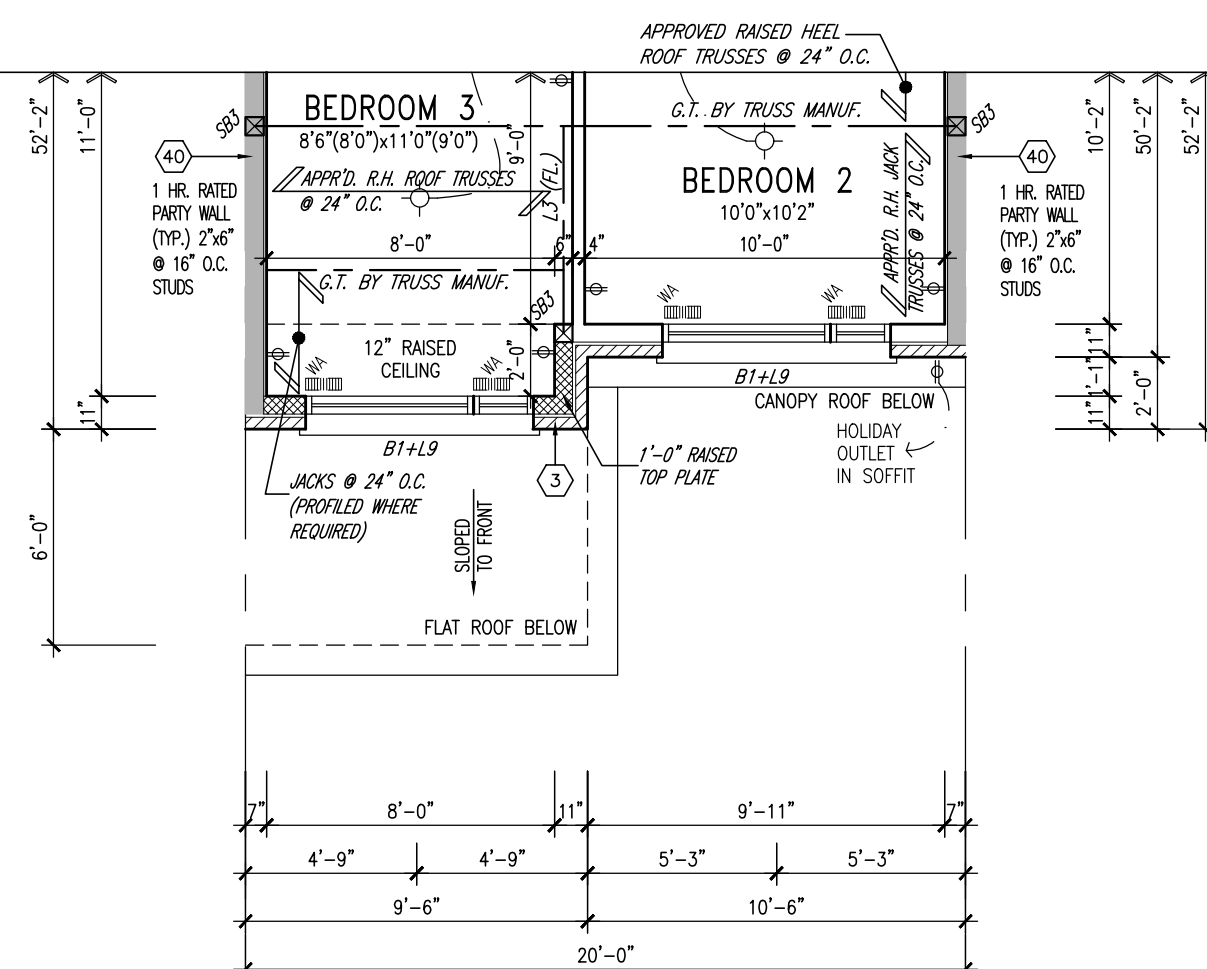
FOR GEORGETOWN 20' STREET TOWNS (#20021)



PART. GROUND FLOOR PLAN 'C'

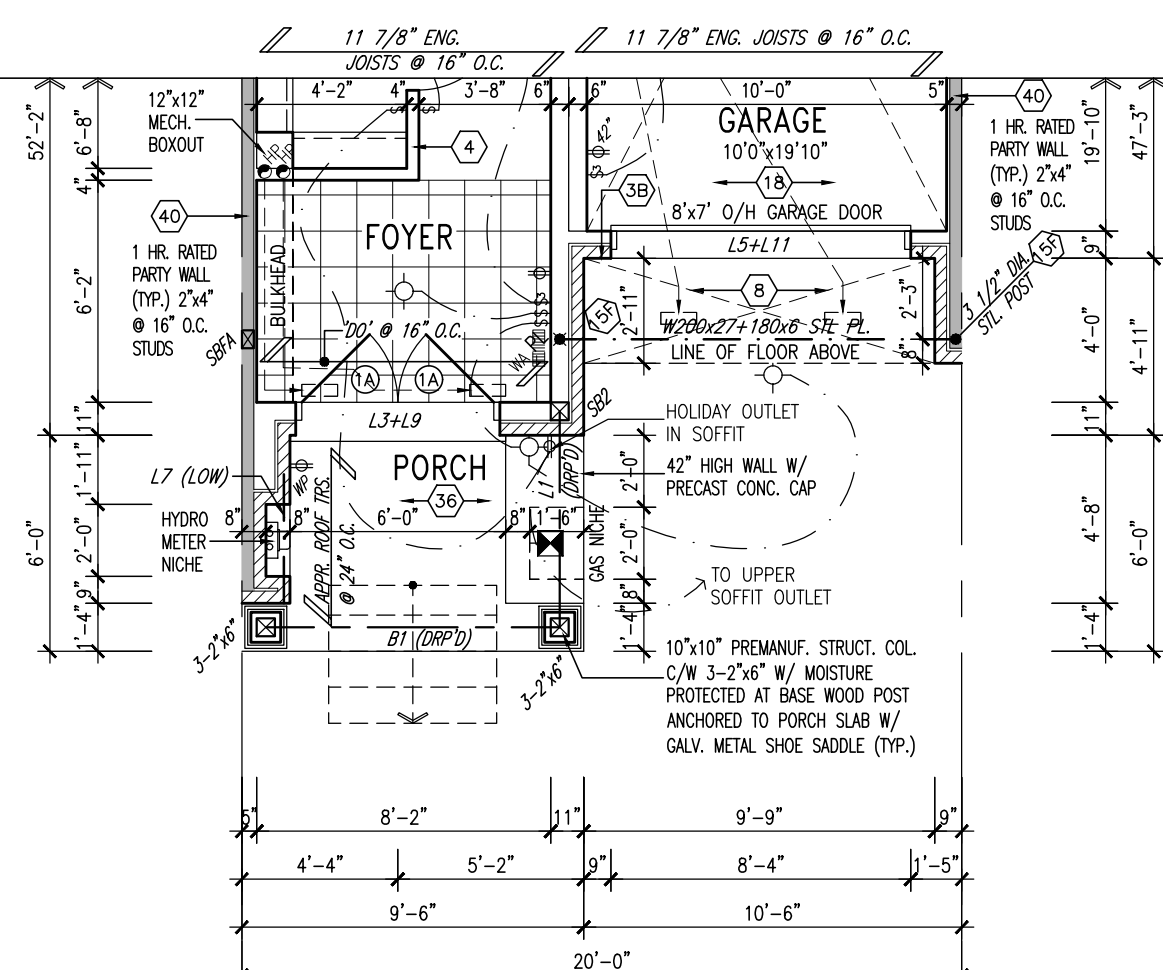


PART. SECOND FLOOR
PLAN 'C' (3 BED)

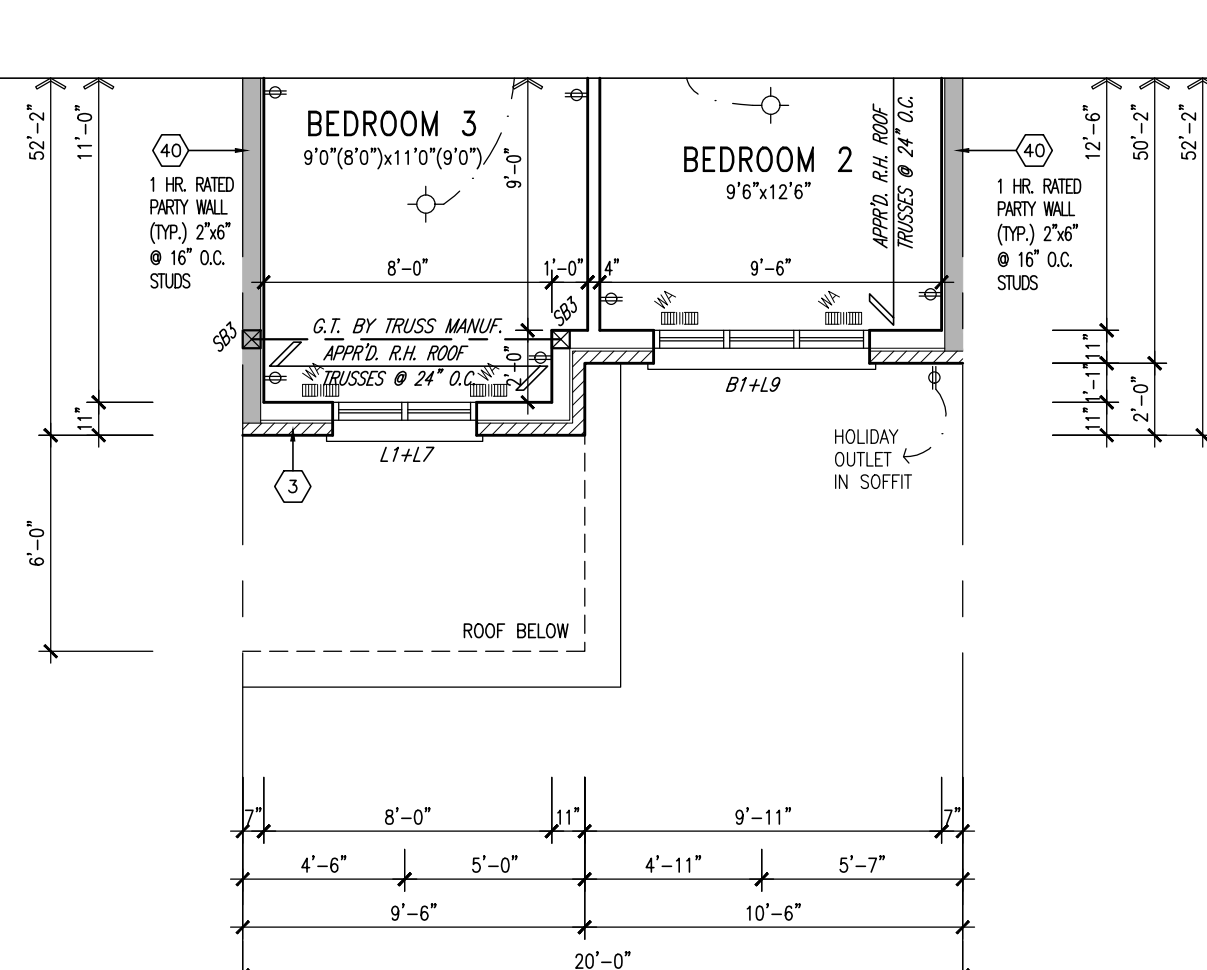


PART. OPT. SECOND FLOOR
PLAN 'C' (4 BED)

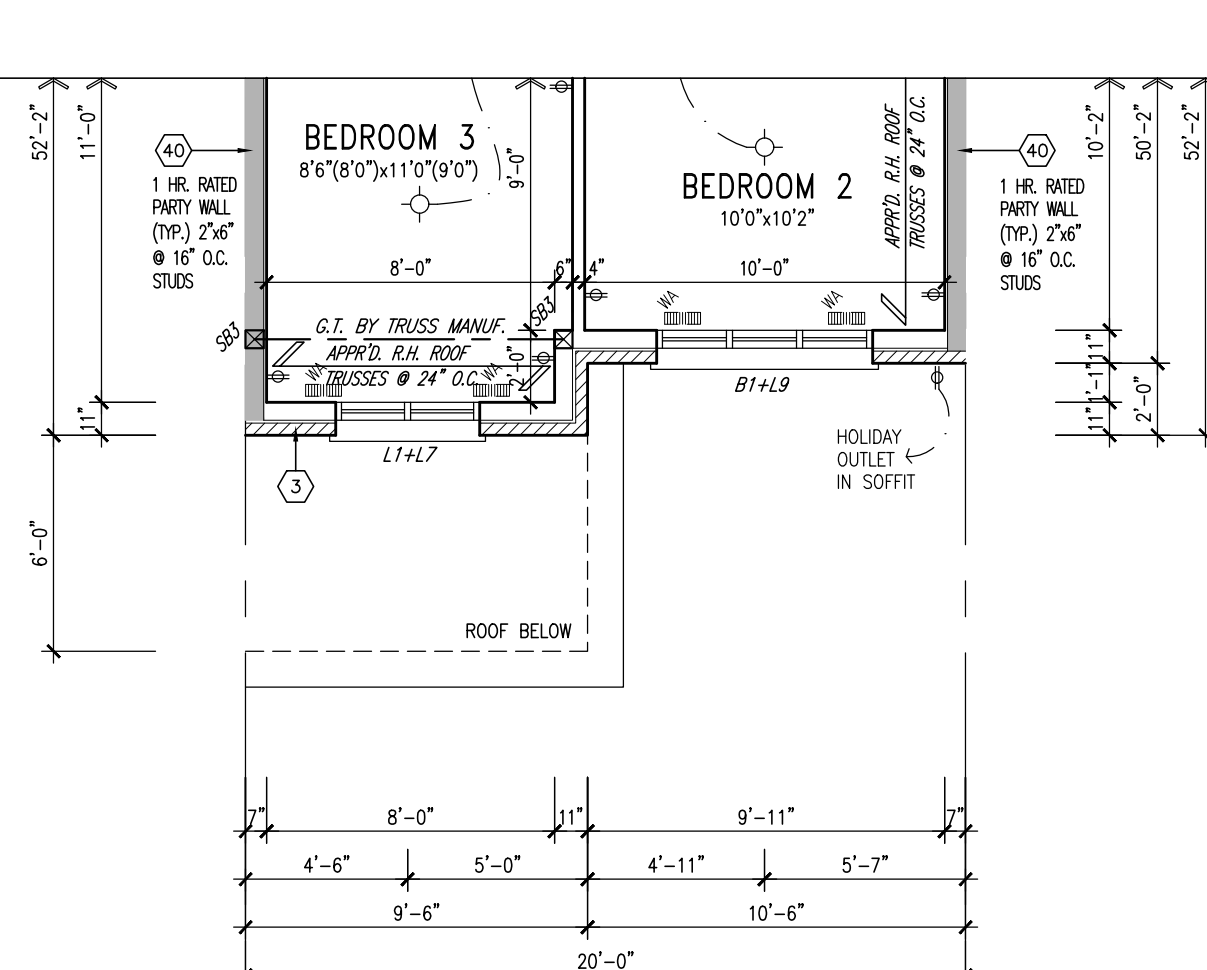
NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION



PART. GROUND FLOOR PLAN 'B'



PART. SECOND FLOOR
PLAN 'B' (3 BED)



PART. OPT. SECOND FLOOR
PLAN 'B' (4 BED)

DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")

*CONTRACTOR TO CONFIRM HEIGHTS WITH
BUILDER*

SOIL TO HAVE MIN. 150 kPa BEARING CAPACITY
FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6
<u>FLOOR SUBFLOORS</u> ALL SUBFLOORS TO BE 3/4" WEATHER PROOFED O.S.B. & TO BE GLUED & NAILED

NOTE:
FLOOR FRAMING INFO. REFER TO FLOOR TRUSS MANUF. SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION & DETAILS UNLESS OTHERWISE NOTED

NOTE:
ALL LVL.'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUF.

OUTDOOR AIR INTAKE SEPARATION


ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER DBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

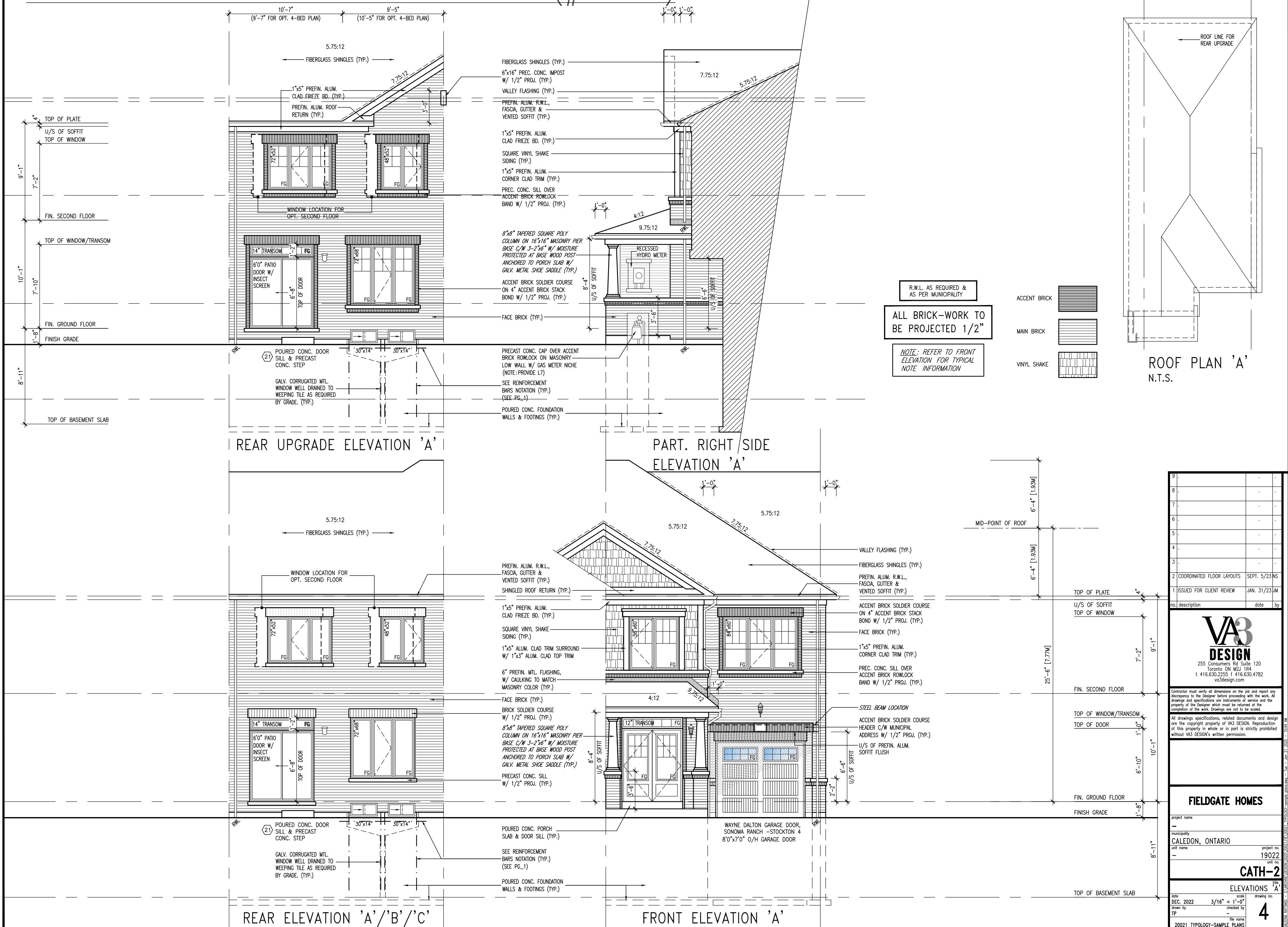
NOTE: PORCH POSTS
BUILT-UP PORCH POSTS SHALL BE SEPARATED
FROM THE CONC. SLAB W/ 0.05 MIL POLY OR
TYPE 'S' ROLL ROOFING.

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8 (3)(a) & 3.8.3.8 (3)(c). SHOWER 3.8.3.13 (2)(g). BATHTUB 3.8.3.13 (4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS. PROWOT.

NOTE:
REFER TO ROOF TRUSS SHOP DRAWINGS
/MANUFACTURER FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

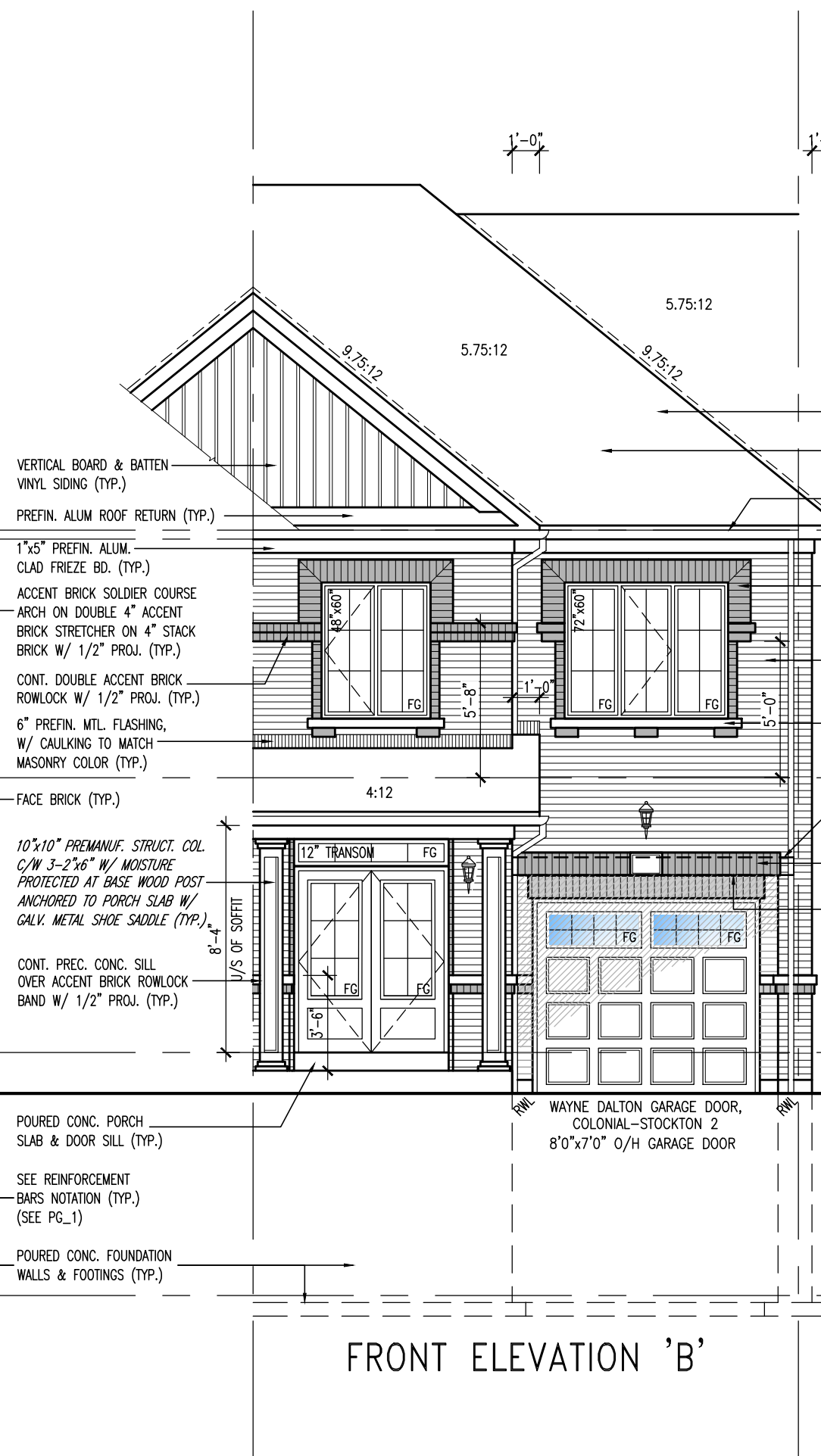
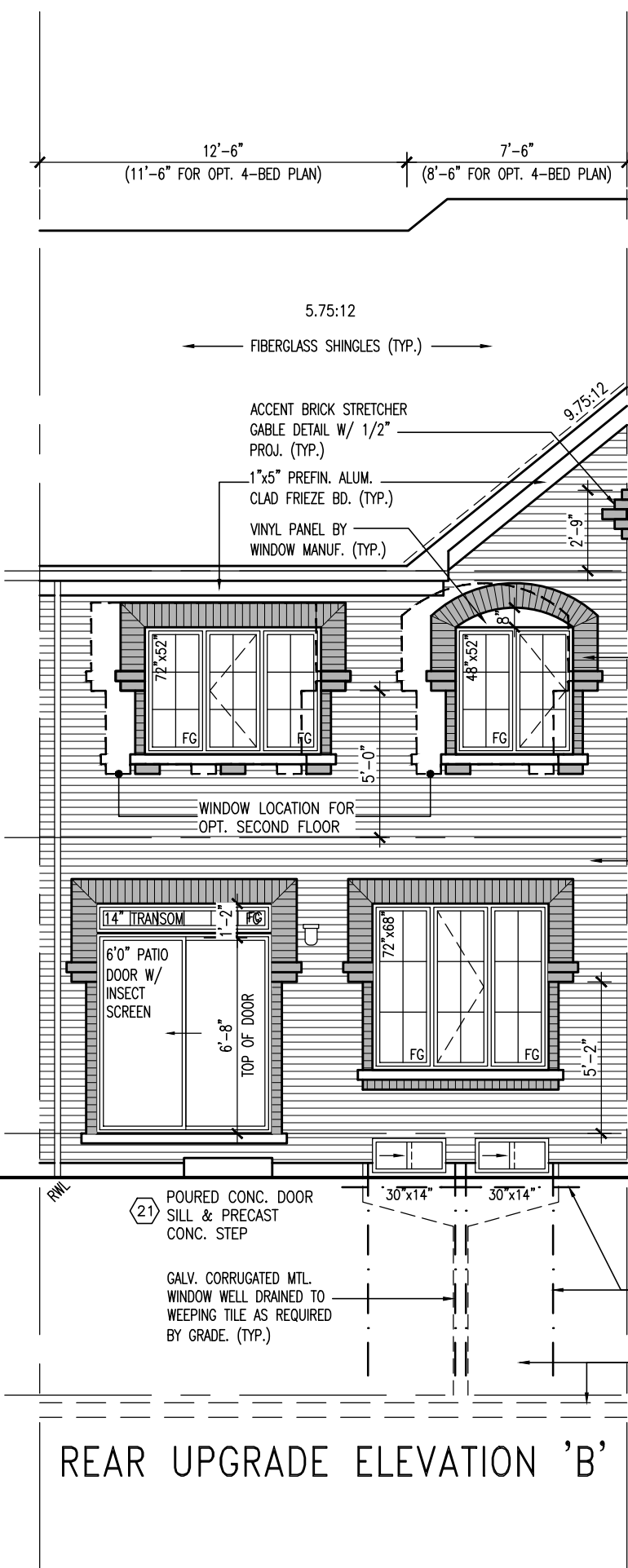
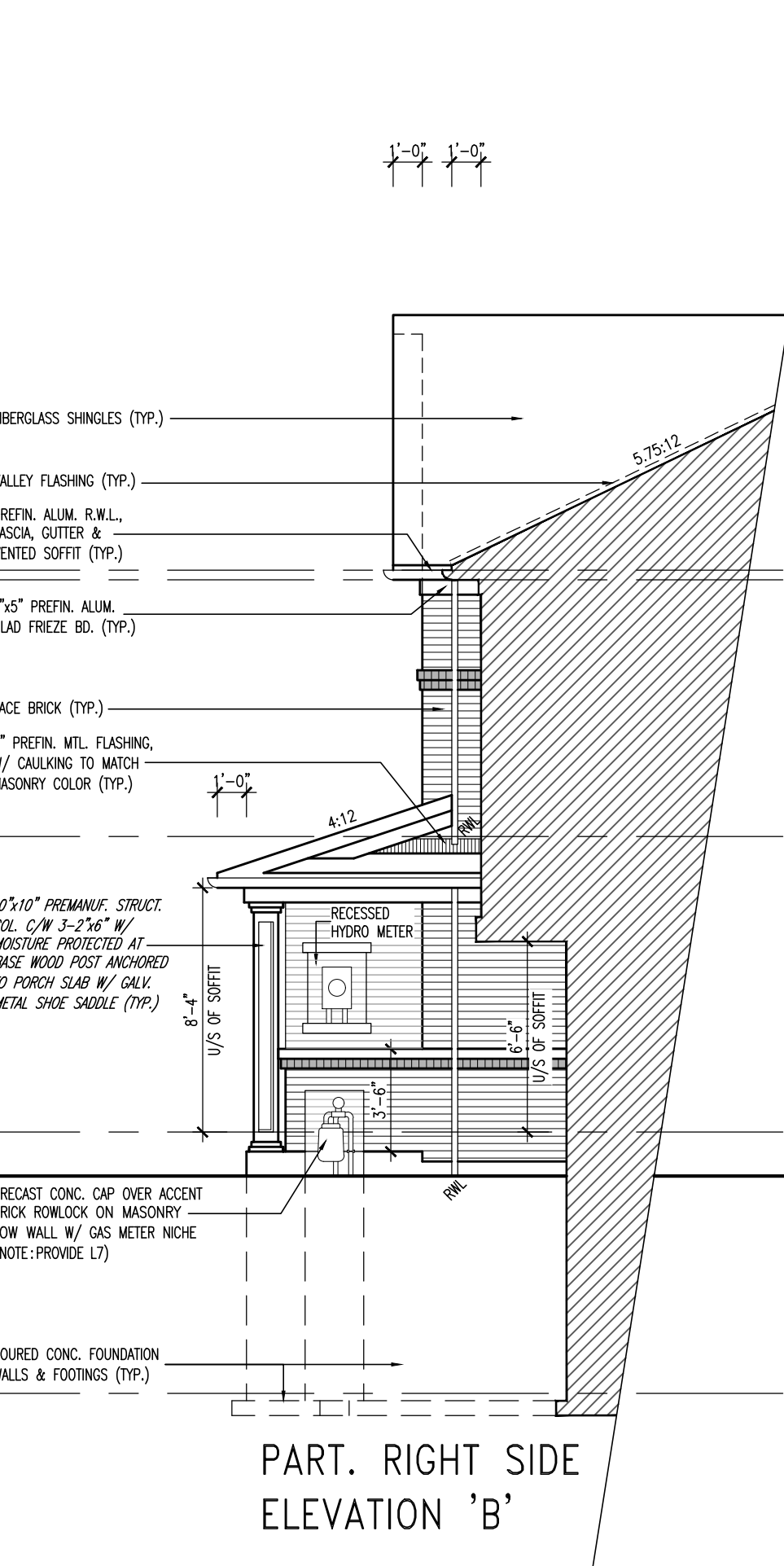
9.								
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7.								
6.								
5.								
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3.								
2.	COORDINATED FLOOR LAYOUTS	SEPT. 5/23	NS					
1.	ISSUED FOR CLIENT REVIEW	JAN. 31/23	JM					
no.	description		date					by
 <p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p> <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned if the completion of the work. Drawings are not to be scaled.</p> <p>All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.</p>								
<p>FIELDGATE HOMES</p> <p>project name —</p> <p>municipality CALEDON, ONTARIO</p> <p>unit name —</p> <p>project no. 19022</p> <p>unit no. —</p> <p>CATH-2</p> <p>PARTIAL FLOOR PLANS 'B' & 'C'</p> <p>date DEC. 2022</p> <p>scale 3/16" = 1'-0"</p> <p>drawn by TP</p> <p>checked by —</p> <p>file name 20021 TYPOLOGY-SAMPLE PLANS</p> <p>drawing no. 3</p>								

FOR GEORGETOWN 20' STREET TOWNS (#20021)



	9	-	-	-
	8	-	-	-
	7	-	-	-
	6	-	-	-
	5	-	-	-
	4	-	-	-
	3	-	-	-
2 COORDINATED FLOOR LAYOUTS	SEPT.	5/23 NS		
1 ISSUED FOR CLIENT REVIEW	JAN.	31/23 JM		
no. description	date	by		
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t. 416.630.2255 f. 416.630.4782 va3design.com				
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FIELDGATE HOMES				
project name —				
municipality CALEDON, ONTARIO				
unit name —		project no. 19022		
		unit no. —		
CATH-2				
ELEVATIONS				
scale DEC. 2022	size 3/16" = 1'-0"	drawing no.	pile A	
drawn by TP	checked by —	4		
file name 20021 TYPOLOGY-SAMPLE PLANS				

FOR GEORGETOWN 20' STREET TOWNS (#20021)



R.W.L. AS REQUIRED & AS PER MUNICIPALITY

ALL BRICK-WORK TO BE PROJECTED 1/2"

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL NOTE INFORMATION

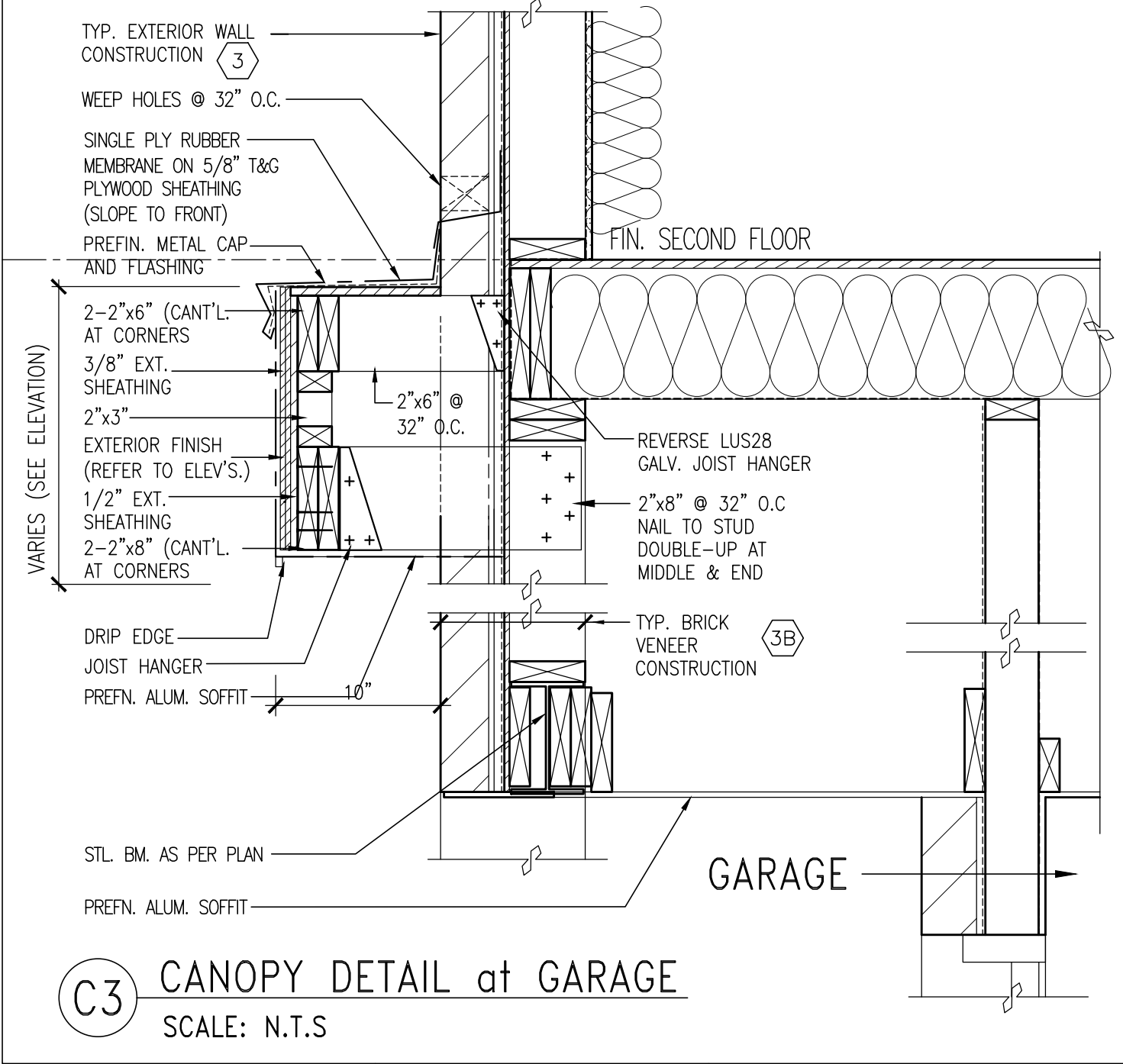
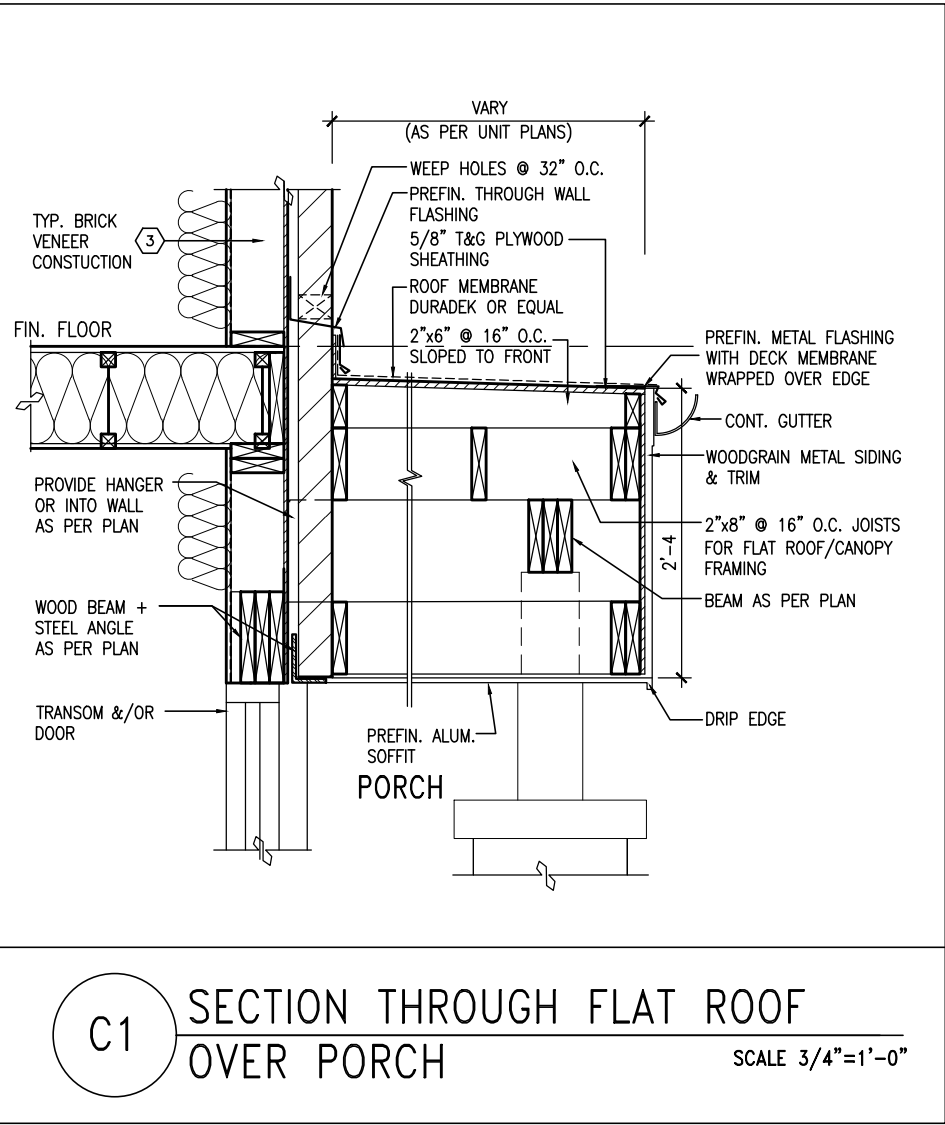
ACCENT BRICK

MAIN BRICK

ROOF PLAN 'B'
N.T.S.

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3.			
2	COORDINATED FLOOR LAYOUTS	SEPT. 5/23 NS	
1	ISSUED FOR CLIENT REVIEW	JAN. 31/23 JM	
no.	description	date	by
<div><div><div><div><div></div><div>VA3</div><div>DESIGN</div></div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div></div></div> <div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div> <div>All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.</div>			
<div><div><div><div><div></div><div>FIELDGATE HOMES</div></div></div></div></div>			
<div><div><div><div><div>project name</div><div>—</div></div><div>municipality</div><div>CALEDON, ONTARIO</div><div>unit name</div><div>—</div></div><div><div>project no.</div><div>19022</div><div>unit no.</div><div>—</div></div></div></div>			
<div><div><div><div><div></div><div>CATH-2</div></div></div><div>ELEVATIONS</div><div>'B'</div></div></div>			
<div><div><div><div><div>date</div><div>DEC. 2022</div></div><div><div>drawn by</div><div>TP</div></div></div><div><div><div>scale</div><div>3/16" = 1'-0"</div></div><div><div>checked by</div><div>—</div></div></div></div><div><div><div>drawing no.</div><div>5</div></div></div></div>			
<div><div><div><div><div></div><div>20021_TYPOLOGY-SAMPLE PLANS</div></div></div></div></div>			

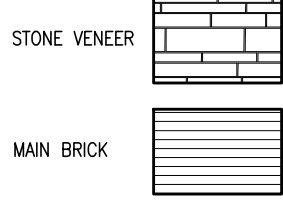
FOR GEORGETOWN 20' STREET TOWNS (#20021)



R.W.L. AS REQUIRED & AS PER MUNICIPALITY

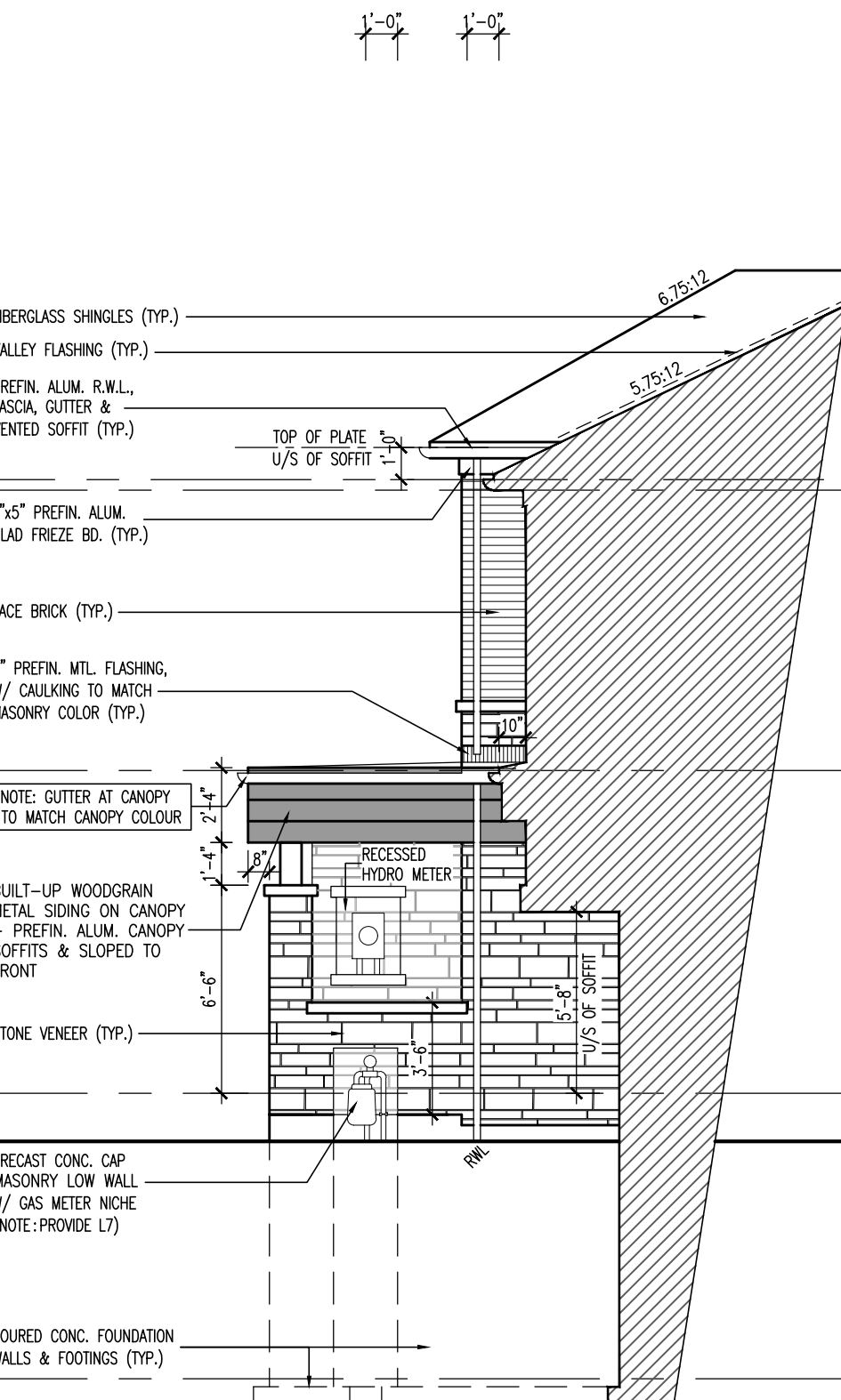
ALL BRICK-WORK TO BE PROJECTED 1/2"

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL NOTE INFORMATION

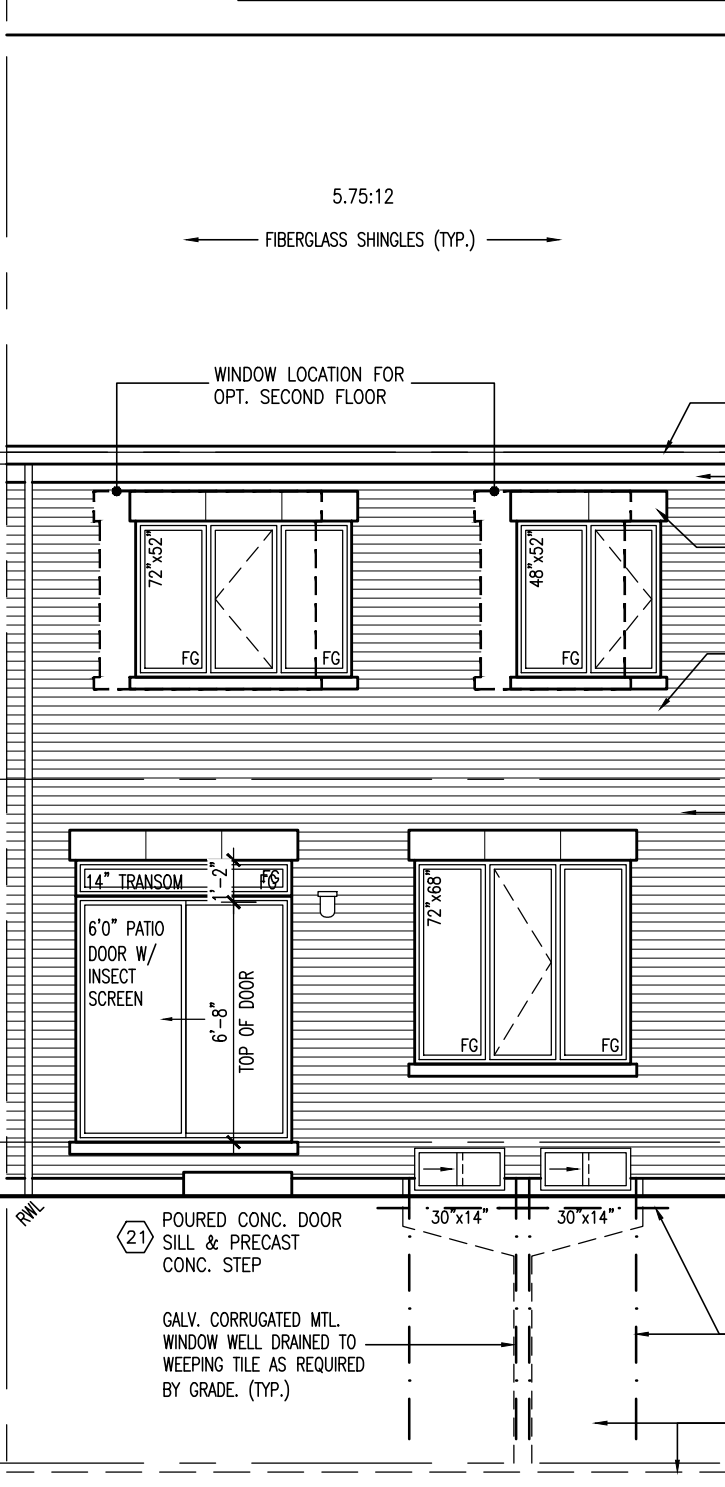


N.T.S.

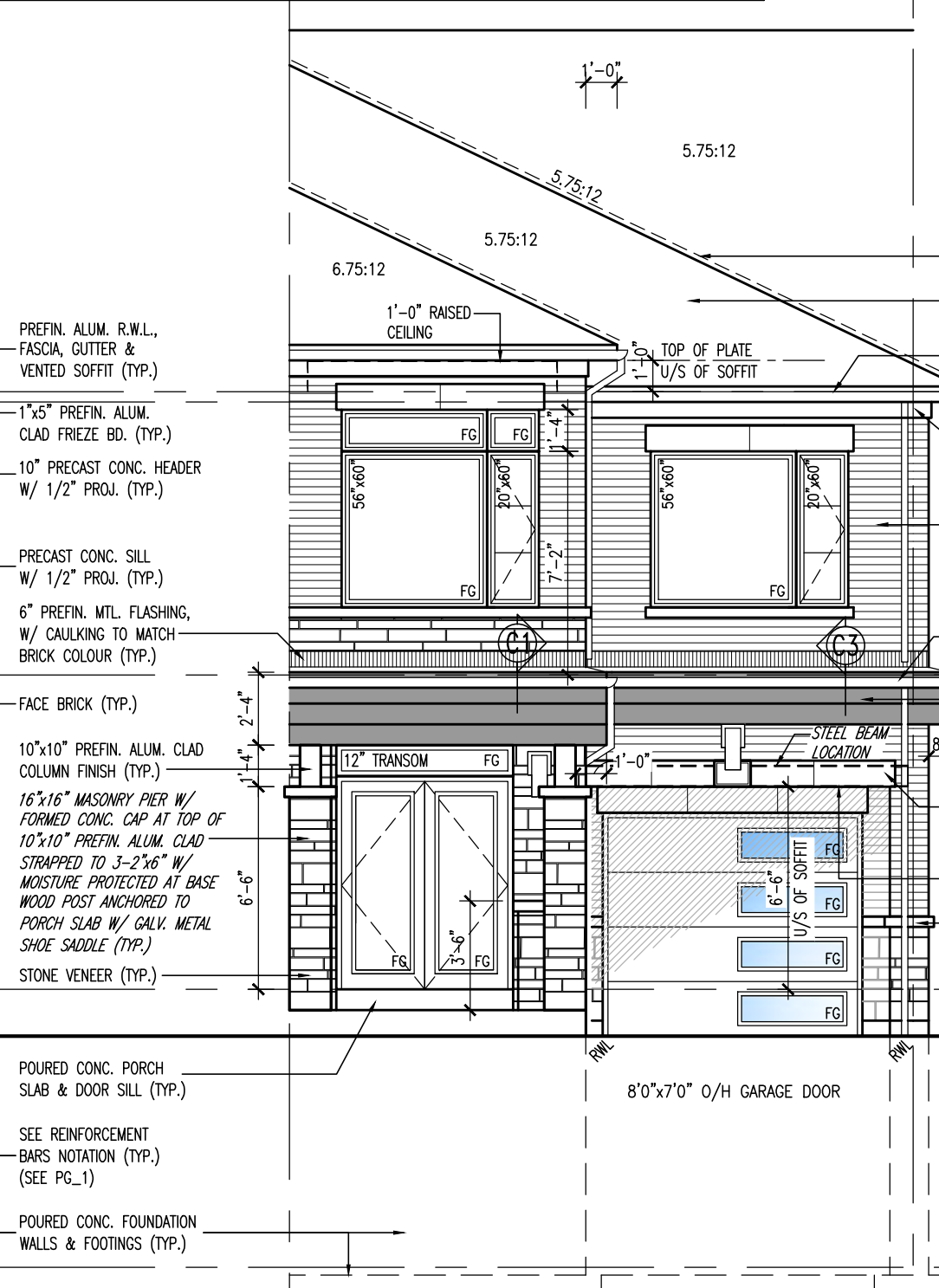
ROOF PLAN 'C'



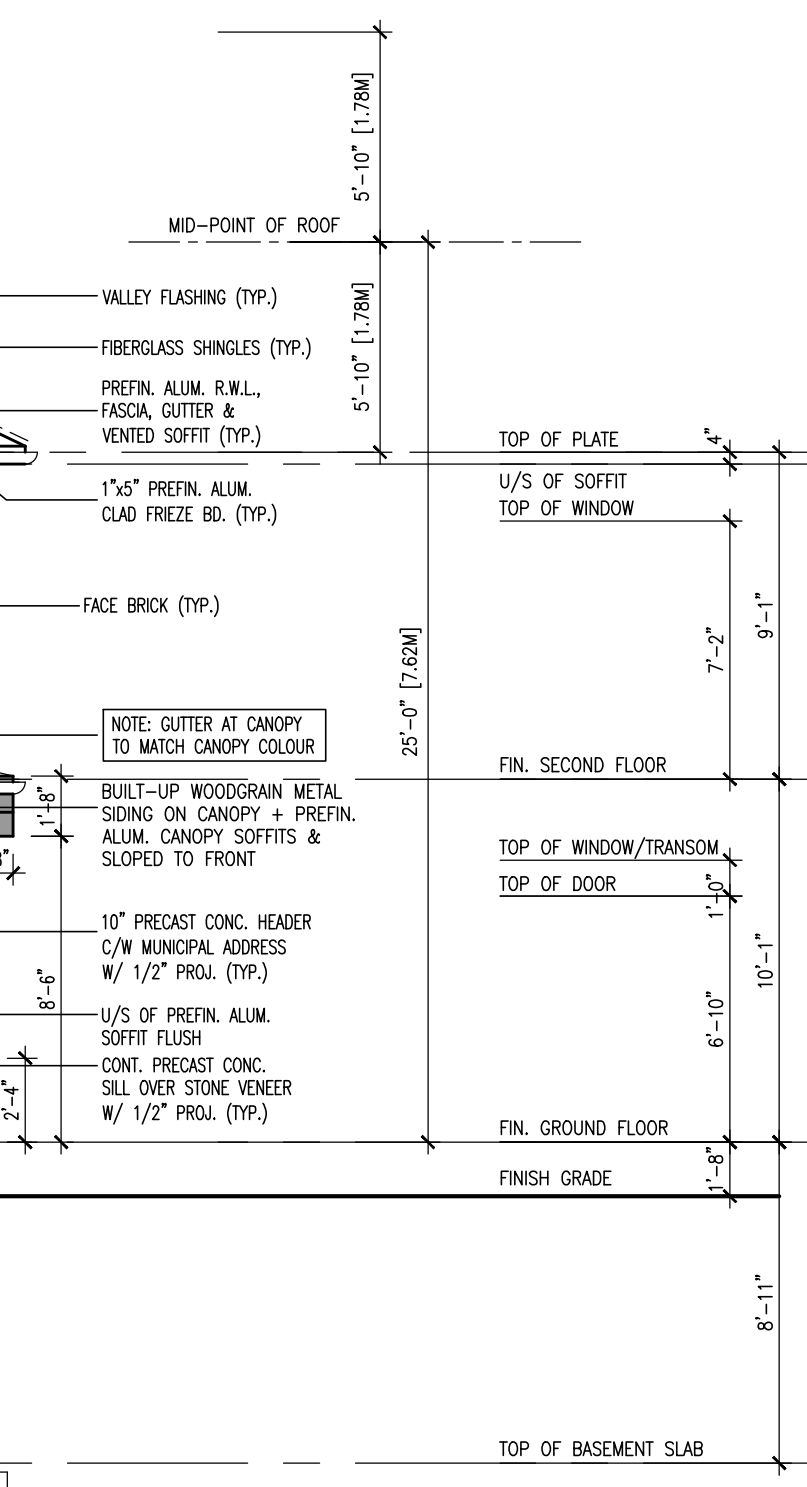
PART. RIGHT SIDE ELEVATION 'C'



REAR UPGRADE ELEVATION 'C'



FRONT ELEVATION 'C'



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2.	COORDINATED FLOOR LAYOUTS	SEPT. 5/23 NS	
1.	ISSUED FOR CLIENT REVIEW	JAN. 31/23 UM	
no.	description	date	by
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com			
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All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.			
FIELDGATE HOMES			
project name			
municipality			
CALEDON, ONTARIO			
unit name			
19022			
unit no.			
CATH-2			
ELEVATIONS 'C'			
date			
DEC. 2022			
scale			
3/16" = 1'-0"			
drawing no.			
6			
20021_TYPOLOGY-SAMPLE PLANS			

FOR GEORGETOWN 20' STREET TOWNS (#20021)

WALK OUT DECK COND.
FOR WALK OUT DECK COND. REFER TO DETAILS 2 TO 8 ON
PG CN4 FOR CONSTRUCTION OF SIDE & REAR WALLS.
-CONSTRUCTION TO BE CONCRETE W/ BRICK CHECK OR STUD
WALL W/ BRICK VENEER AS GRADE CONDITIONS REQUIRE.
NOTE:
SOLID BEARINGS NOTED APPLY TO
STUD WALL W/ BRICK VENEER CONDITION.

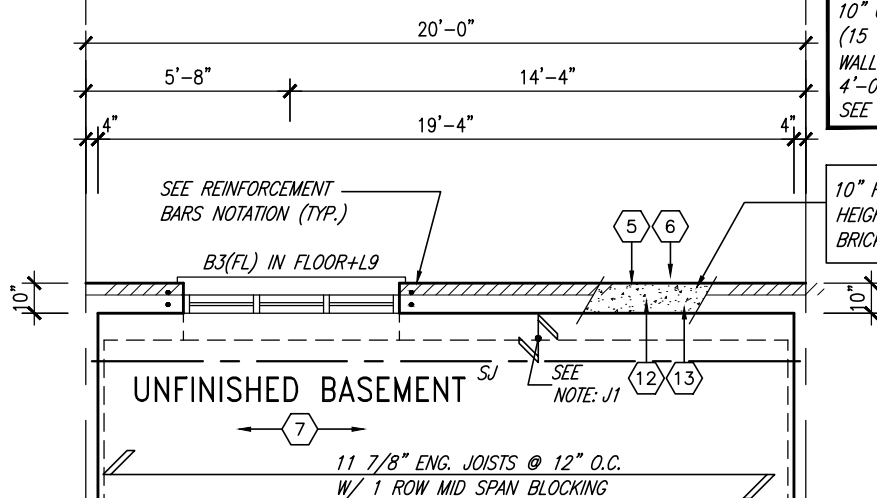
W.O.D. WINDOW SIZES
REFER TO PAGE CN4 FOR
WINDOW SIZE AND
FOUNDATION CONDITIONS

NOTE: REFER TO STANDARD
FLOOR PLANS FOR
ADDITIONAL INFORMATION

NOTE: REINFORCEMENT BARS
* PROVIDE 2-15M HORIZONTAL REINFORCING
EACH SIDE FACE OF FOUNDATION WALL AND
4" BELOW WINDOW OPENING, EXTEND BARS
24" BEYOND OPENING EACH WAY
* PROVIDE 2-15M VERTICAL REINFORCING
EACH SIDE FACE OF FOUNDATION WALL AND
WINDOW OPENING FROM TOP OF FOOTING
TO 2" BELOW TOP OF FOUNDATION WALL
* BARS TO HAVE MIN. 2" CONCRETE COVER

TYPICAL FOUNDATION WALL:
10" CONCRETE FOUNDATION WALL
(15 Mpa). ANCHOR SILL PLATE TO
WALL W/ 1/2" DIA. BOLTS @
4'-0" O.C. (22"x6" FOOTING)
SEE DETAIL FW @ PAGE 2.

SOLID BLOCKING NOTE:
PROVIDE SOLID BLOCKING AT 24"
O/C AT JOIST SPACE ADJACENT TO
FOOT. WALL WHERE FLOOR JOISTS
RUN PARALLEL OF FOOT. WALL (TYP.)



PART. BASEMENT PLAN 'A'
- W.O.D. COND. (EL. 'B'/'C' SIMILAR)

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
CATH-2 ELEVATION 'A'	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	413.33 S.F.	103.861 S.F.	25.13 %
LEFT SIDE	1075.23 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	1075.23 S.F.	0.00 S.F.	0.00 %
REAR	413.33 S.F.	130.163 S.F.	31.49 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2977.12 S.F.	221.35 S.F.	7.44 %
TOTAL SQ. M.	276.58 S.M.	20.56 S.M.	7.44 %

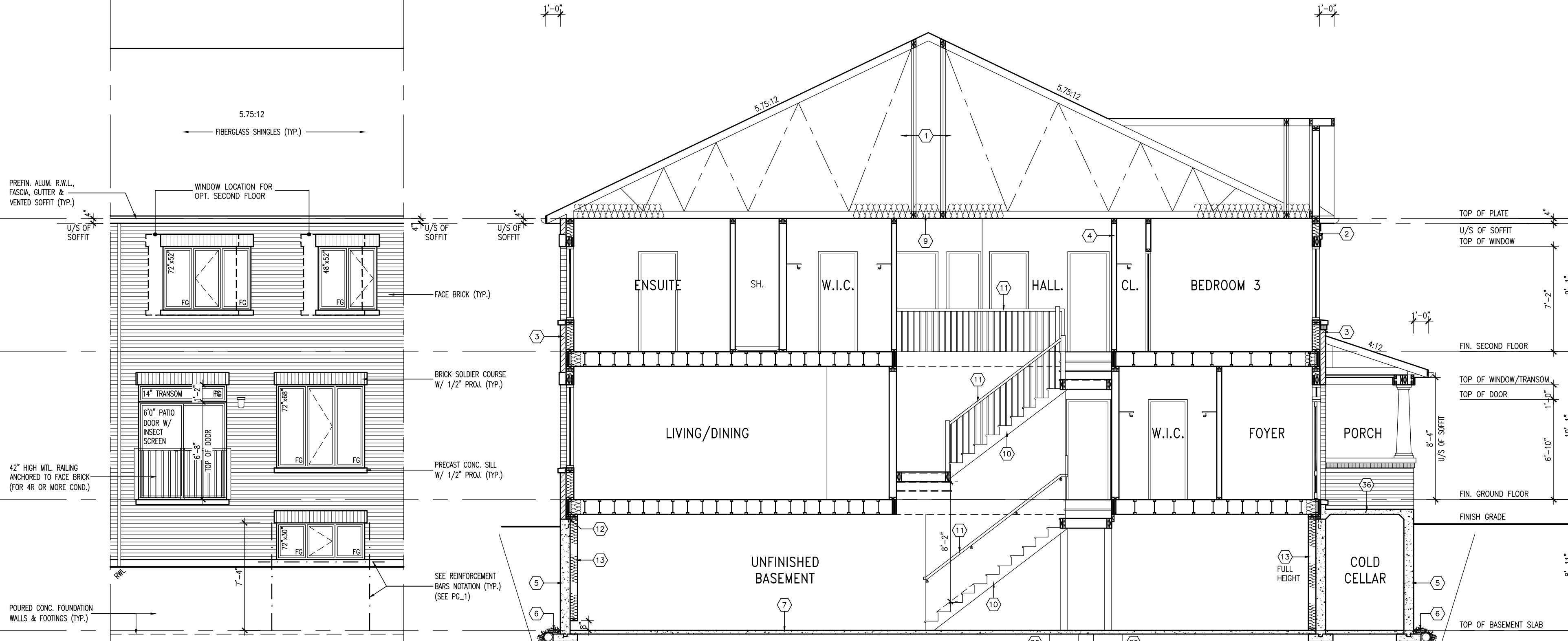
UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
CATH-2 ELEVATION 'B'	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	413.33 S.F.	95.528 S.F.	23.11 %
LEFT SIDE	1078.11 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	1078.11 S.F.	0.00 S.F.	0.00 %
REAR	413.33 S.F.	130.163 S.F.	31.49 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2982.88 S.F.	213.02 S.F.	7.14 %
TOTAL SQ. M.	277.12 S.M.	19.79 S.M.	7.14 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
CATH-2 ELEVATION 'C'	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	421.33 S.F.	117.306 S.F.	27.84 %
LEFT SIDE	1078.11 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	1078.11 S.F.	0.00 S.F.	0.00 %
REAR	413.33 S.F.	130.163 S.F.	31.49 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2990.88 S.F.	226.36 S.F.	7.57 %
TOTAL SQ. M.	277.86 S.M.	21.03 S.M.	7.57 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
CATH-2 ELEVATION 'A' -W.O.D.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	413.33 S.F.	103.861 S.F.	25.13 %
LEFT SIDE	1075.23 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	1075.23 S.F.	0.00 S.F.	0.00 %
REAR	475.00 S.F.	139.330 S.F.	29.33 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3038.79 S.F.	230.52 S.F.	7.59 %
TOTAL SQ. M.	282.31 S.M.	21.42 S.M.	7.59 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
CATH-2 ELEVATION 'B' -W.O.D.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	413.33 S.F.	95.528 S.F.	23.11 %
LEFT SIDE	1078.11 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	1078.11 S.F.	0.00 S.F.	0.00 %
REAR	475.00 S.F.	139.330 S.F.	29.33 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3044.55 S.F.	222.19 S.F.	7.30 %
TOTAL SQ. M.	282.85 S.M.	20.64 S.M.	7.30 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
CATH-2 ELEVATION 'C' -W.O.D.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	421.33 S.F.	117.306 S.F.	27.84 %
LEFT SIDE	1078.11 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	1078.11 S.F.	0.00 S.F.	0.00 %
REAR	475.00 S.F.	139.330 S.F.	29.33 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3052.55 S.F.	235.53 S.F.	7.72 %
TOTAL SQ. M.	283.59 S.M.	21.88 S.M.	7.72 %



REAR ELEVATION 'A'/'B'/'C'
-W.O.D. COND.

SECTION 'A-A'

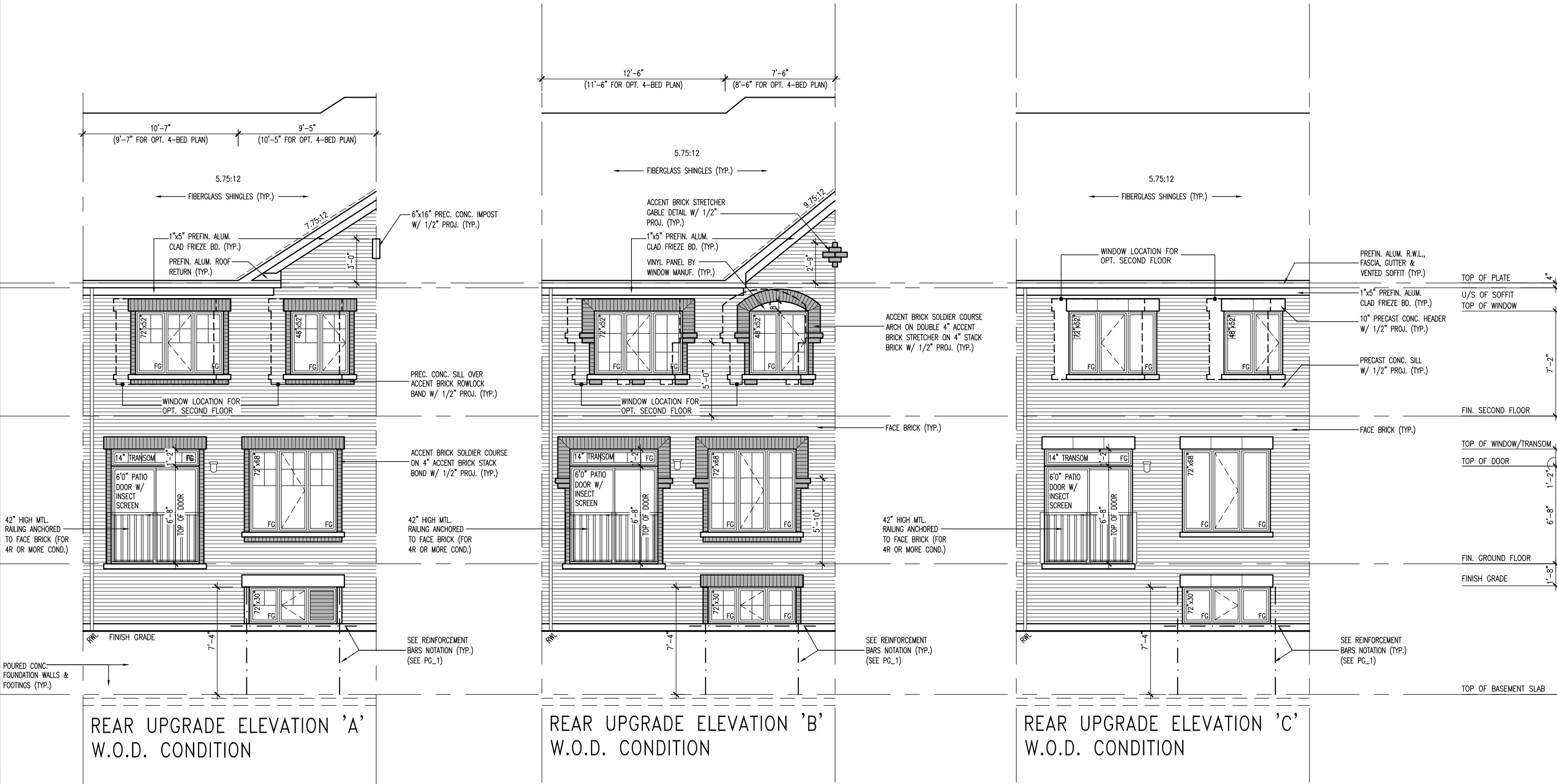
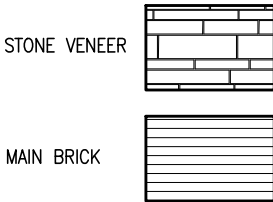
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2.	COORDINATED FLOOR LAYOUTS	SEPT. 5/23 NS
1.	ISSUED FOR CLIENT REVIEW	JAN. 31/23 JM
no.	description	date by
VAD3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
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FIELDGATE HOMES		
project name	-	
municipality	CALEDON, ONTARIO	
unit name	project no.	19022
	unit no.	
CATH-2		
W.O.D. COND. & SECTION 'A-A'		
date	scale	drawing no.
DEC. 2022	3/16" = 1'-0"	7
drawn by	checked by	
TP		
file name		
20021_TYPOLOGY-SAMPLE PLANS		

FOR GEORGETOWN 20' STREET TOWNS (#20021)

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

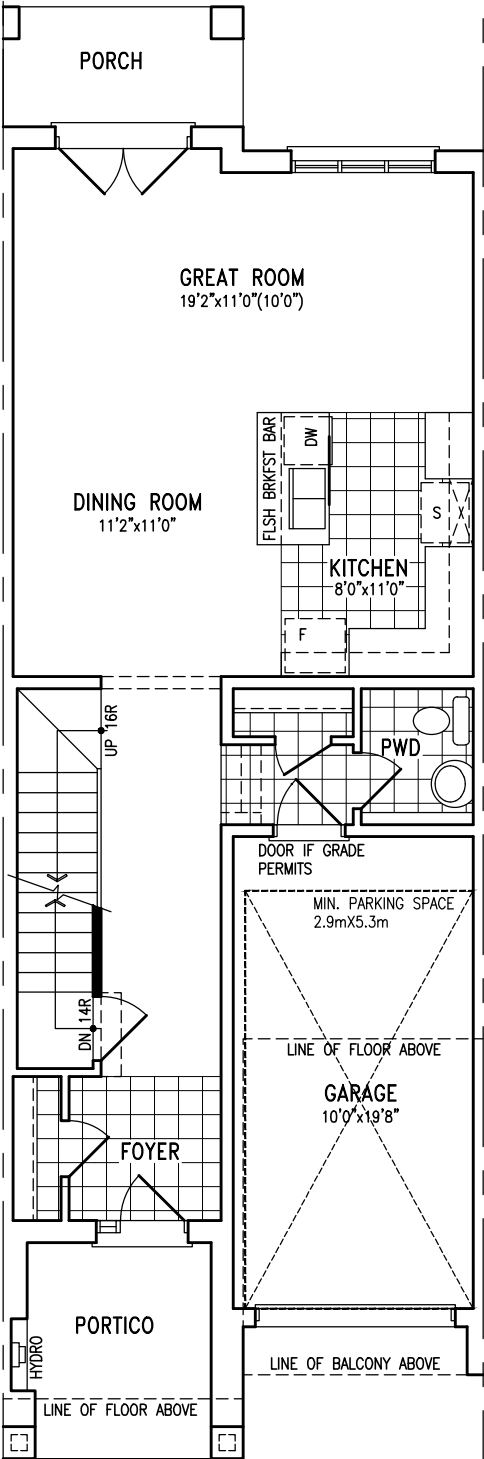
ALL BRICK-WORK TO
BE PROJECTED 1/2"

NOTE: REFER TO FRONT
ELEVATION FOR TYPICAL
NOTE INFORMATION

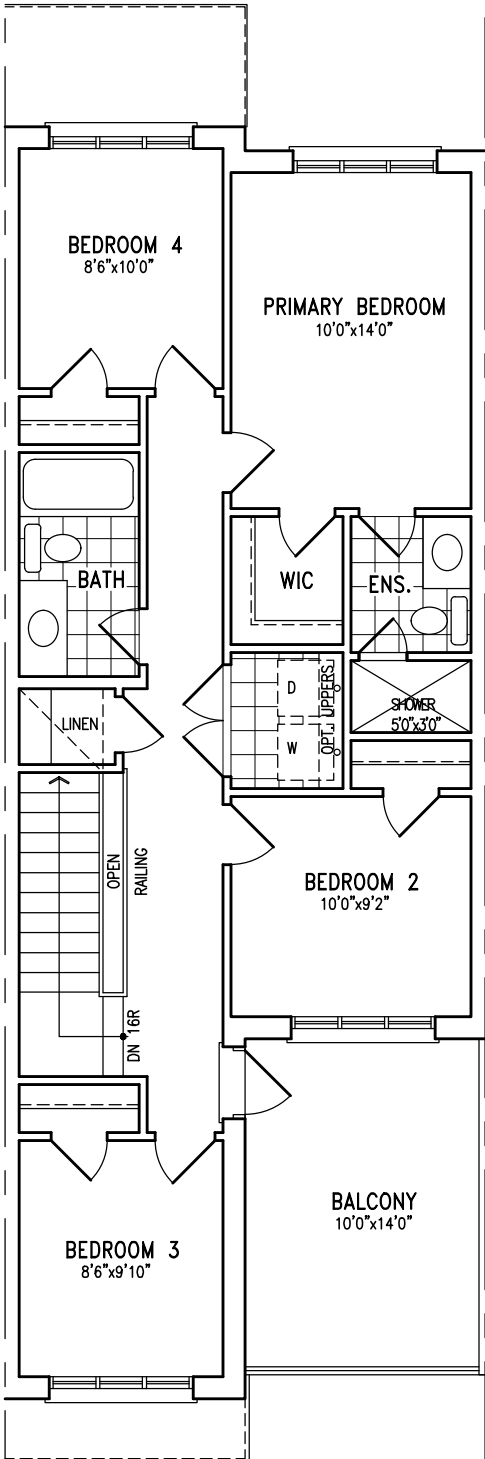


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2.	COORDINATED FLOOR LAYOUTS	SEPT. 5/23 NS	
1.	ISSUED FOR CLIENT REVIEW	JAN. 31/23 JM	
no.	description	date	by
VAD DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com			
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FIELDGATE HOMES			
project name			
municipality			
CALEDON, ONTARIO			
unit name			
19022			
unit no.			
CATH-2			
UPGRADED REAR ELEV.-W.O.D.			
date	3/16" = 1'-0"	scale	drawing no.
DEC. 2022			
drawn by	checked by		
TP			
20021_TYPOLOGY-SAMPLE PLANS			
8			

FOR GEORGETOWN 20' DUAL FRONTING TOWNS (#20021)



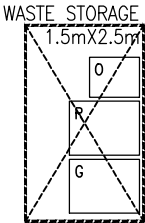
GROUND FLOOR PLAN



SECOND FLOOR PLAN

1CAR PARKING 2.9x6.0M
WITH MIN. 2.9x5.3M
WITH NO OBSTRUCTION

2CAR PARKING 5.5x6.0M
WITH MIN. 5.5x5.3M
WITH NO OBSTRUCTION



AREA CALCULATIONS	
	ELEV. A
GROUND FLOOR AREA	753.8 SF
SECOND FLOOR AREA	910.0 SF
SUBTOTAL	1663.8 SF
DEDUCT ALL OPENINGS	7.6 SF
TOTAL NET AREA	1656 SF
	153.9 m2
FINISHED BSMT AREA	0 SF
TOTAL NET AREA	1656 SF
W/ FIN BSMT	153.9 m2
COVERAGE W/O PORCH	969.7 SF
	90.1 m2
COVERAGE W/PORCH	1056.3 SF
	98.1 m2

7	.	.	.	.
6	.	.	.	.
5	.	.	.	.
4	.	.	.	.
3	.	.	.	.
2	.	.	.	.
1	.	.	.	.
no.	description		date	by

FIELDGATE HOMES

—

GEORGETOWN, ONTARIO

project no.
20021

area summary (sq ft)

1656 SF

date
2024-11

drawn by
ARM

file name
20021_TYPOLOGY-SAMPLE PLANS

unit name
—

unit number
—

DF(6.1M)

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
va3design.com

FOR GEORGETOWN 20' DUAL FRONTING TOWNS (#20021)

VA3
DESIGN

255, Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
va3design.com



FRONT ELEVATION

FIELDGATE HOMES

10365 GORE DEVELOPMENTS LIMITED
BRAMPTON, ONTARIO

project no.

21019

no.	description	date	by
7			
6			
5			
4			
3			
2			
1			

date

JULY 2023

drawn by

ARM

file name

20021_TYPOLOGY-SAMPLE PLANS

unit name

unit number

DF(6.1M)

area summary (sq ft)

SALEENA BRATTANSI - G:\ARCHIVE\DESIGN 2020\20021.FEB.20021_TYPOLOGY-sample plans.dwg -- Tue -- Jan 21 2025 -- 10:50 AM

FOR GEORGETOWN 20' DUAL FRONTING TOWNS (#20021)

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DESIGN

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Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4782
va3design.com



REAR ELEVATION

TOP OF PLATE
U/S OF SOFFIT
TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF WINDOW

FIN. GROUND FLOOR
FINISH GRADE

FIELDGATE HOMES

10365 GORE DEVELOPMENTS LIMITED
BRAMPTON, ONTARIO

project no.
21019

revisions

no.	description	date	by
7			
6			
5			
4			
3			
2			
1			

date
JULY 2023

drawn by
ARM

file name
20021_TYPOLOGY-SAMPLE PLANS

unit name
-

unit number
DF(6.1M)

area summary (sq ft)
-

SALEENA BRATTANSI - G:\ARCHIVE\DESIGN 2020\20021.FE\20021_TYPOLOGY-sample plans.dwg -- Tue -- Jan 21 2025 -- 10:51 AM