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# **PLANNING JUSTIFICATION REPORT**

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**IN SUPPORT OF A  
ZONING BY-LAW AMENDMENT  
AND  
PROPOSED DRAFT PLAN OF  
SUBDIVISION**

**16469 10 Side Road, Georgetown  
Halton Hills**

Russell Pines Property Corp. co Fieldgate Developments

March 2025

GSAI File: 265-029

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## 1.0 Introduction

Glen Schnarr & Associates Inc. (GSAI) has been retained by Russell Pines Property Corp. c/o Fieldgate Developments to assist in obtaining the necessary planning approvals to permit the proposed development at 16469 10 Side Road, Halton Hills located within the Southeast Georgetown Secondary Plan Area (herein referred to as the “Subject Lands”), legally referred to as,

PT. LOTS 11 & 12 CONCESSION 11 ESQ; PART 1, 20R21398 TOWN OF HALTON HILLS,

The Southeast Georgetown Secondary Plan Study Area is approximately 53 hectares (130.97 acres) and is bound by Silver Creek to the north, 10<sup>th</sup> Line to the west, 10 Side Road to the south and Winston Churchill Boulevard to the east, as shown in Figure 1: *Ariel Context*. See Section 2.0 of this Report for a detailed description of the Subject Lands. The Secondary Plan Area is a large undeveloped greenfield area within the current urban boundary of Halton Hills and is currently used for agricultural purposes.

The Southeast Georgetown Secondary Plan area was identified for future development and brought into the Urban Area in of Town of Halton Hills through Regional Official Plan Amendment No. 38 and Halton Hills Official Plan Amendment (OPA) No. 10. The Southeast Georgetown Secondary Plan was adopted by Council as Official Plan Amendment No. 59 by the passing of By-Law 2025-0024 on March 24, 2025.

To implement the proposed Southeast Georgetown Secondary Plan, applications for a Zoning By-law Amendment and Draft Plan of Subdivision are proposed to facilitate the development of the Subject Lands in accordance with the land uses generally proposed by the Secondary Plan.

This Planning Justification Report has been prepared in support of a Draft Plan of Subdivision and Zoning By-law Amendment application to permit a primarily residential development with related complementary uses, including parks, a stormwater management pond, a network of public streets, natural heritage system with buffers and trails, as well as a strategically located mixed use block (herein referred to collectively as the “proposed development”). The Secondary Plan has been planned to accommodate the proposed Norval West Bypass. This Planning Justification Report (the “Report”) presents an analysis of the proposed Draft Plan of Subdivision and Zoning By-law Amendment Applications and evaluates the proposal in consideration of the following land use policy documents: Provincial Planning Statement (2024), the Halton Region Official Plan (2024), the Town of Halton Hills Official (2024), the Town of Halton Hills Zoning By-law 2010-0050.

## 2.0 Site Description

The Southeast Georgetown Secondary Plan area is surrounded by a variety of residential, agricultural and environmental land uses see Figure 2.0: *Surrounding Uses*. The Subject Lands contains primarily agricultural land uses.

### **North**

- North of the Subject Lands is Silver Creek which is part of a large Natural Heritage System (NHS). Further north of Silver Creek is an existing subdivision and apartment buildings
- On the north side of Guelph Street, there are residential properties, commercial uses and places of worship. Further north of Guelph Street are designated Greenlands that include a waterfall named Jas Falls
- The northeast portion of the area transitions into Norval Hamlet, a historic settlement outside of the urban boundary

### **South**

- South of the Subject Lands on the south side of 10 Side Road are existing agricultural uses
- Southwest features low-rise residential neighborhoods, with parks, schools, and commercial uses supporting the community's needs

### **East**

- Adamson Street South acts as a connector to adjacent neighborhoods and community facilities.
- Hillcrest Cemetery

### **West**

- West of Subject Lands is a new subdivision has been built to the west of the 10th Line and north of 10 Side Road
- The northwest area includes an existing Natural Heritage System, supporting biodiversity and ecological function.
- Existing trails, offering recreational opportunities and connectivity

## **2.1 Norval Bypass**

Halton Region is undertaking a Municipal Class Environmental Assessment (MCEA) Study to assess the need for a new Norval West Bypass between Highway 7 and 10 Side Road. It also considers improvements to 10 Side Road between Tenth Line and Adamson Street/Winston Churchill Boulevard. The Norval West Bypass is part of an overall solution to improve travel in the community of Norval. The purpose of the Norval West Bypass is to relieve truck traffic and travel demand on Highway 7 through the community of Norval and provide a north/south connection through the Southeast Georgetown Secondary Plan area that connects Highway 7 to 10 Side Road.

## **2.2 Transportation Network**

The study area is currently bounded by few transit options. GO bus transit routes 31, 33 services the residential community east of the study area with bus stops located at the intersection of Noble Street and Guelph Street: GO bus route 31 provides east-west service from Union Station Bus Terminal to Georgetown GO Station. The route provides 20-minute frequency or better during

the weekday daytime peak, 55-minute frequency or better during the Saturday and Sunday daytime peak. GO bus route 33 provides east-west service from University of Guelph to Georgetown GO Station. The route provides 120-minute frequency or better during the weekday daytime peak. The closest stop is located at Noble Street and Guelph Street intersection, approximately 1.5 km or 20 minutes from the proposed development. The Traffic Impact Study (TIS) prepared by TYLin (March 2025) further discussed in Section 6.0 of this report describes how the proposed development and road network have been planned to support future transit expansion.

### **3.0 Draft Plan of Subdivision**

The proposed Draft Plan of Subdivision prepared by GSAI, dated March 10, 2025 (See Appendix I), consists of 744 residential dwellings in low and medium density built forms, as well as a commercial/mixed use block that will be refined through a future Site Plan application:

- 274 Single Detached Lots:
  - 39 Detached Lots with 9.15 metre (30 foot) frontages.
  - 159 Detached Lots with 11.0 metre (36 foot) frontages.
  - 76 Dual Frontage Detached Lots with 9.80 metre (32 foot) frontages.
- 470 Townhouse Lots:
  - 111 Dual Frontage Townhouse Lots with 6.10 metre (20 foot) frontages.
  - 169 Street Townhouse Lots with 6.10 metre (20 foot) frontages.
  - 190 Back-to-Back Townhouses Lots with 6.40 metre (21 foot) frontages.
- Four Residential Reserve Blocks, totaling 0.32 hectares (0.79 acres)
- Two Parks
  - One west of the proposed Norval Bypass with an area of 1.72 hectares (4.25 acres)
  - One west of the proposed Norval Bypass with an area of 0.26 hectares (0.64 acres)
- One Parkette, with an area of 0.08 hectares (0.20 acres)
- Nine Walkways, totaling 0.39 hectares (0.96 acres)
- One Stormwater Management Pond (SWMP) Block, with an area of 2.83 hectares (6.99 acres).
- Greenbelt Lands, totaling 6.22 hectares (15.37 acres)
- Table Land Greenbelt. totaling 5.10 hectares (12.60 acres)
- 19 - internal streets of varying rights-of-way (ROWS):
  - 20 metre Local ROW
  - 23 metre Collector ROW
  - 26 metre Collector ROW
  - 42 metre Norval West Bypass

A Draft Plan of Subdivision is required to create the lots and blocks and to subdivide the land. The following provides an overview of key elements of the Draft Plan of Subdivision:

## **Single Detached Lots**

The Draft Plan of Subdivision consists of a total of 198 Single Detached Residential lots. The Single Detached lots are a mixture of lots with 9.15 metres (30 feet) and 11.0 metres (36 feet) frontages. Single Detached dwellings developed on these individual lots will have direct frontage and access to the internal streets. Each dwelling will have a private garage and driveway and will accommodate the required vehicular parking. Private outdoor amenity space will be provided by way of a rear yard for each lot. A shallower lot depth promotes a more compact build form without compromising on functionality.

## **Detached Dual Frontage**

The Draft Plan of Subdivision contains a total of 76 Detached Dual Frontage dwellings on 9.80 metre (32 feet) lots. Detached Dual Frontage lots have direct access to the sidewalk and street for pedestrians and the driveway and garage are accessed at the rear. This dwelling type provides an active street frontage and encourages active transportation. Outdoor amenity areas are provided via courtyards and balconies or terraces. These Dual Frontage lots will ensure the street frontage on 10<sup>th</sup> Line, Street A, and Street C is animated and more pedestrian friendly rather than having rear yards along the entire street length. This lotting ensures safer traffic movement as driveways are not located on busy streets.

## **Dual Frontage Townhouses**

A total of 111 Dual Frontage Townhouse dwellings are being proposed on 6.10 metre (20 feet) lots. These Dual Frontage Townhouses have direct access to the street with garages located in the rear with access from quieter collector roads. Amenity space will be provided by way of courtyards, terraces or balconies. These Dual Frontage Townhouses will ensure the street frontage on 10<sup>th</sup> Line, Street A, and Street B is animated and more pedestrian friendly rather than having rear yards along the entire street length. This lotting ensures safer traffic movement as driveways are not located on busy streets.

## **Street Townhouse Blocks**

A total of 169 Street Townhouse dwelling are being proposed on 6.10 metre (20 feet) lots both east and west of the proposed Norval Bypass. These Street Townhouses are located in close proximity to the park providing residents with easy access to recreational spaces. These townhouses will be developed on individual lots with direct access to the street. Each street townhouse will have two parking spaces, one in an attached garage and another in the driveway. Private outdoor amenity space will be provided by way of a rear yard for each lot.

### **Back-to-Back Townhouse Blocks**

A total of 190 Back-to-Back Townhouse dwellings are being proposed. The back-to-back townhouses will be developed on individual lots with front-loaded access to the street. These blocks will contain 12 to 14 units. Amenity space will be provided by way of terraces and/or balconies and parking is provided by a single car driveway and garage. These Back-to-Back Townhouse blocks are located in close proximity to the Park west of the Norval Bypass and the Local Commercial Mixed use block.

### **Residential Reserve**

The Draft Plan of Subdivision includes four Residential Reserve Blocks with 16 proposed lots located at the southern edge of the Subject Lands adjacent to 10 Side Road. These reserve blocks are designated for future dual frontage Townhouse units. The development of these lands will be coordinated with the realignment of 10 Side Road. This approach ensures a cohesive and integrated expansion of the subdivision with future infrastructure.

### **Commercial Mixed Use**

A 1.37 hectare (3.39 acre) Commercial Mixed-Use block is proposed with frontage along 10 Side Road between proposed Street B and the proposed Norval Bypass. This Commercial Mixed-Use Block will contain a mixture of commercial and residential uses. Within this Block both Standalone Commercial and Residential Uses will be permitted along with Mixed Use Buildings. The design of this block will be refined during a future Site Plan application.

### **Park Blocks**

Two blocks are proposed for Parks, one on each side of the Noval Bypass and one block is proposed for a parkette along Street C. The placement of these Parks aligns with the Preferred Land Use Plan in the Southeast Georgetown Secondary Plan. The thoughtful placement of these Parks will ensure these spaces are accessible to all residents and will enhance the overall livability of the new community. This arrangement provides residents with easy access to essential recreational amenities.

### **Stormwater Management Pond Block**

A Stormwater Management (SWM) Pond Block is being proposed in the southeastern corner of the proposed draft plan of subdivision east of the proposed Norvall Bypass. Details of this SWM pond are provided in the SWM Report prepared by TYLin (March 2025), submitted in support of this Draft Plan of Subdivision and Zoning By-law Application.



## **4.0 Zoning By-law Amendment**

The Subject Lands are currently zoned “A – Agriculture” in the Town of Halton Hills Zoning By-law 2010-0050. A Zoning By-law Amendment is therefore required to facilitate the Proposed Development and bring the Subject Lands into conformity with the Southeast Georgetown Secondary Plan.

The Draft Implementing Zoning By-law intended to facilitate this Proposed Development proposes to apply the following zones to the Subject Lands (See Appendix II):

- Lots within the “Low Density Residential Area”, containing Single Detached Dwellings, and Detached Dual Frontage are proposed to be zoned as:
  - Low Density Residential – Exception AA (LDR1-AA),
  - Low Density Residential – Exception BB (LDR1-BB),
  - Low Density Residential – Exception CC (LDR1-CC),
- Lots within the “Medium Density Residential Area”, containing Dual Frontage Townhouses, Street Townhouses, and Back-to-Back Townhouse Dwellings, are proposed to be zoned as:
  - Medium Density Residential – Exception DD (MDR1-DD),
- The Mixed-Use Block is proposed to permit commercial uses and a range of dwelling types. Within this Block both Standalone Commercial and Residential Uses will be permitted along with Mixed Use Buildings. It is proposed to be zoned as:
  - Mixed Use 1 – Exception EE (MU1-EE),
- The Neighbourhood Park Block, Parkette, and Walkway Blocks are proposed to be zoned as:
  - Open Space 2 – Exception FF (OS2-FF),
- The SWM Pond Block, Greenbelt Lands, and Buffers are proposed to be zoned as:
  - Open Space 3 – Exception GG (OS3-GG),

A number of Exception Zones are proposed where the proposed development does not comply with the current zoning standards; these exceptions impact some setbacks, height requirements, and permitted uses.

Four of the proposed permitted uses are not currently defined in Zoning By-law 2010-0050. Proposed definitions for these uses are as follows:

- Dwelling, Back-to-Back Townhouse – A building where each unit is divided vertically by common walls, including a common rear wall, and has an independent entrance to the unit from the outside accessed through the front yard, exterior side yard or interior side yard.
- Dwelling, Stacked Townhouse – A three or four-storey building divided horizontally and vertically by common walls with more than 5 dwelling units and each unit having an individual entrance directly from the outside and no common corridor. Stacked townhouses may have a common rear wall.
- Dwelling, Dual Frontage Townhouse - A townhouse dwelling which is fronting a public street with a pedestrian access only and have a driveway access from the rear yard.

- Mixed Use Building – A building which contains a combination of permitted non-residential uses and residential dwelling units.

Relief is required from the parent zones in order to facilitate the Proposed Development and accommodate a mix and range of land densities, uses and built forms. The proposed Zoning By-law Amendment will implement the proposed Draft Plan of Subdivision which brings to life the goals and objectives of the Southeast Georgetown Secondary Plan, emphasizing a walkable, mixed-use community with a compact built form.

## **5.0 Public Consultation Process**

Public engagement and consultation are important components of the planning process. The purpose of a Public Consultation Strategy is to ensure that the planning process is open and transparent and provides opportunities for all stakeholders to be actively engaged in any consultation process involving the Proposed Development applications. The applicant and the project team are committed to working cooperatively with Town Staff to respond appropriately and efficiently with additional detail, where helpful, and to ensure the timely delivery of accurate information pertaining to the Proposed Development.

A Pre-Consultation meeting was held with Town of Halton Hills Staff on November 23, 2023. This meeting provided the applicant with an opportunity to present a preliminary Draft Plan of Subdivision for the Subject Lands and to obtain feedback from Town, Region, Conservation Authority and School Board Staff to assist the applicant in making a complete application. A Pre-Consultation summary letter and checklist were subsequently provided to the applicant by Town Staff outlining preliminary comments and the materials required to satisfy a complete submission of the application for the Proposed Development. This application is submitted with all requisite accompanying materials to ensure the applications are deemed to be complete.

The strategy outlined below will be employed in order to ensure continued dialogue and openness and to provide notice of all meetings and consultation sessions to stakeholders, which will ensure that active engagement opportunities are maximized at various points of the planning process. The requirements of the Planning Act will provide the minimum standard to be followed for all notifications.

- In the Pre-Consultation Checklist Staff requested that the proponents hold a public consultation meeting to obtain feedback from the community prior to filing the formal Zoning Bylaw Amendment application. While the application was being completed Bill 185 received Royal Assent which eliminated this requirement.
- Following the submissions of applications and once they have been deemed complete by Town Staff, a Notice of Complete Application will be posted on the Town's website. The Notice will advise residents that the applications have been submitted, and that public input is requested.

- Following the Notice of Complete Application, “Public Notice” signs will be posted on each frontage the Subject Lands – one facing 10<sup>th</sup> Line, one facing 10 Side Road. The signs will advise that Draft Plan of Subdivision and Zoning By-law Amendment applications have been submitted. The wording and information for the sign is subject to confirmation with Town staff and will include all required statements as per O. Reg. 544/06 (Plans of Subdivision) and O. Reg. 545/06 (Zoning By-laws, Holding By-laws and Interim Control Bylaws);
- Residents and stakeholders will have the ability to access and review the submission materials, including drawings and reports in person or online at the Halton Hills Municipal Office (1 Halton Hills Drive, Georgetown) or via the Town’s website; and,
- A statutory Public Meeting will be held at the by the Town’s Planning, Public Works and Transportation Committee at the Municipal Office or virtually to consider the applications and Town staff’s Public Meeting Report. Town staff will notify all residents within 120 metres (400 feet) of the subject property of the statutory meeting at least 20 days prior to the meeting date. At the meeting, any person will be provided the opportunity to provide comments or ask questions regarding the applications at the Public Meeting. Please note the scheduling of a Public Meeting is held at the discretion of Town staff.

A plan to engage the public early and as frequently as required will lead to a clearer understanding by members of the public of the process and details of the application. This will assist the proponent in understanding any outstanding comments and concerns as the application advances through the process. The proposed strategy for consulting with the public with respect to the Draft Plan of Subdivision and Zoning By-Law Amendment process will follow and exceed the requirements of the Planning Act for statutory meetings and the Town of Halton Hills’ planning process preferences.

If there is extensive interest expressed, the proponent will explore convening informal meeting(s) with existing surrounding residents and landowners to discuss the development proposal, advancements and updates related to the Proposed Development. This communication program will undoubtedly assist in better informing the local population and managing the implementation of planning and development of the Subject Lands.

## **6.0 Supportive Studies and Reports**

Per communication with Town Staff and the requirements of the Official Plan, the below technical studies and reports have been prepared in support of the proposed Draft Plan of Subdivision and Zoning By-law Amendment, as discussed below.

### **6.1 Arborist Report and Tree Preservation Plan**

The Arborist Report and Tree Preservation Plan was prepared by Kuntz Forestry, dated February 6, 2025. During their fieldwork a total of 289 individual trees and six tree polygons were inventoried and assessed on the site. Of these, 100 individual trees and four tree grouping polygons

are proposed for removal, while 186 individual trees and two tree polygons will be retained. Most of the trees assessed are in good to fair condition. The Town of Halton Hills does not have a set standard for compensation plantings or cash-in-lieu values. Trees identified as being in poor or dead condition are recommended for removal due to their deteriorating health. The recommendations for tree retention are based on the Draft Plan of Subdivision drawings and a thorough evaluation of the trees' health, with an emphasis on adhering to best practices throughout the construction process.

## **6.2 Archaeological Assessment**

This Land Archaeology Inc. was retained to complete the Archaeological Assessment on the Subject Lands. The Stage 1 & 2 Archaeological Assessment was completed in July 2015. During the Stage 2 assessment, four sites of potential importance were identified and as a result a Stage 3 Assessment was recommended.

The Stage 3 Assessment was completed in May 2016. During the Stage 3 Assessment analysis of these sites met the criteria to require a Stage 4 assessment.

The Stage 4 Archaeological Assessment was completed in October 2021. Stage 4 mitigation included the identification and investigation of various cultural features and artifacts. The Stage 4 assessment determined that the cultural features investigated represented refuse deposits. No further assessment was recommended after the Stage 4 assessment. All reports and confirmation of Ministry Acceptance are included with this submission.

## **6.3 Environmental Impact Study**

An Environmental Impact Study (EIS) was completed by GEI, dated March 10, 2025. This EIS addresses the natural heritage features and associated functions found on and adjacent to the Subject Lands. Natural heritage features are present within the adjacent lands associated with Silver Creek within the Greenbelt Plan area.

The following natural heritage features as identified in the PPS (2024) and assessed under the NHRM (2010) were documented within and adjacent to the Subject Lands:

- Provincially Significant Wetland (Hungry Hollow Wetland);
- Other wetland (MAS2-1);
- Significant Woodland (FOD5-11, FOM2-3, CUW);
- Significant Valleyland (Silver Creek valleyland);
- Significant Wildlife Habitat:
  - Seasonal Concentration Areas:
    - Candidate Bat Maternity Colonies (FOD5-11 and FOM2-3);
    - Candidate Reptile Hibernacula (anthropogenic structures at 35 Adamson Street);
  - Species of Concentration Concern:
    - Confirmed Barn Swallow habitat (barn structure at Russell farm);

- Candidate Barn Swallow habitat (anthropogenic structures at 35 Adamson Street);
- Confirmed Eastern Wood-Pewee habitat (FOD5-11, FOM2-3, CUW);
- Candidate Walnut Caterpillar Moth habitat (FOD5-11, FOM2-3, CUW);
- Direct Fish Habitat (Silver Creek);
- Candidate and Confirmed Habitat for Endangered Species (SAR bats, Black Ash, Butternut, Chimney Swift); and
- Georgetown Credit Valley Regional Life Science ANSI.

The proposed development will consist of residential dwellings, a commercial block, parks, a SWM pond and an underground stormwater storage tank. The relocation of one wetland (0.23 ha) is proposed. In addition, to accommodate the draft plan, vegetation removals and encroachments into the 30 m significant woodland vegetation protection zone (VPZ) are required, resulting in the removal of 0.16 ha of significant woodland and 0.77 ha of VPZ encroachment. However, it is planned and expected that the relocated wetland and the proposed woodland enhancements (+ 2.13 ha of woodland) to the NHS will provide a net gain by increasing native diversity and wildlife habitat functions while strengthening the buffer for the significant woodland and valleyland.

No negative impacts to the retained natural heritage features are predicted as a result of the proposed development provided the recommended mitigative measures are enacted and monitored for effectiveness. The implementation of mitigation measures and appropriate construction monitoring will contribute to the maintenance of important local features and functions over time, as well as enhancing and protecting natural heritage features. A monitoring plan is proposed to monitor the effectiveness of the wetland restoration area and vegetated buffers.

## **6.4 Environmental Site Assessment**

A Phase One and Two Environmental Site Assessment (ESA) was completed by Grounded Engineering, dated June 27, 2024 and August 8, 2024 to determine if any soil or groundwater contamination is present. Soil sampling was conducted during the drilling investigation. Groundwater sampling was conducted from the new and existing monitoring wells installed on the Property. Fourteen (14) monitoring wells were installed. Monitoring wells were located within the Areas of Potential Environmental Contamination APECs identified in the Phase I ESA for the Property. No exceedances of the applicable Site Condition Standards were identified for the soil and groundwater on the Property. As such, no remediation or further risk assessment is recommended.

## **6.5 Stormwater Management Report**

A Stormwater Management (SWM) Report was completed by TYLin dated, March 2025. The proposed stormwater management plan includes a stormwater management pond as shown on the Draft Plan of Subdivision, located east of the Norval Bypass and another facility located in the Silver Creek sub-watershed within the tableland Greenbelt. Flow to Levi Creek will be maintained to the extent feasible by diverting runoff from the commercial block located west of the Norval Bypass ROW and the residential rear lots north of the commercial/mixed-use block. The proposed

strategy for the Subject Lands maintains existing drainage patterns to the extent possible and provides opportunities for maintaining recharge throughout the Site.

## **6.6 Functional Services Report**

A Functional Servicing Report (FSR) was completed by TYLin dated, March 2025. This report indicates that the proposed development can be effectively serviced by planned infrastructure. The proposed grading design will follow the WSP Scoped Sub-watershed Study completed on behalf of the Town of Halton Hills, ensuring proper drainage to the Credit River, Levi Creek, and Silver Creek, while aligning with regional water resource policies and minimizing disruption to the surrounding land. The proposed design will effectively manage runoff from a 5-year storm event with a storm sewer network operating at 80% capacity. Storms exceeding the 5-year event will be managed by directing overland flows on the north to an LID system and south portion to the SWM pond. Given the limitations of the existing sanitary pumping station, the site will connect to a future wastewater pumping station and forcemain project, planned for 2031, ensuring adequate capacity for future demands. The development will connect to a watermain along 10 Side Road and the existing watermain at Danby Road and Argyll Road.

## **6.7 Geotechnical Report**

A Geotechnical Report was completed by Grounded Engineering, dated July 19, 2024. The subsurface investigation of the Subject Lands to date consisted of nineteen (19) boreholes which were advanced from May 9th to 17th, 2024. Based on the borehole findings, preliminary geotechnical engineering advice for the proposed development is provided for foundations, seismic site classification, earth pressure design, slab on grade design, basement drainage, and pavement design. The geological characteristics of the Subject Lands are appropriate to accommodate the proposed development. Grounded provided several recommendations related to grading, fill, and groundwater and erosion management during construction. These recommendations should be followed to ensure all structures are constructed properly.

## **6.8 Heritage Impact Assessment**

A Heritage Impact Assessment (HIA) was completed for the Subject Lands by LHC Heritage Planning & Archaeology, dated March 2025. The Farmhouse is listed as a non-designated property on the Town's Municipal Heritage Register. Retention of the farmhouse in situ within a new park is the preferred alternative. However, in the event a new use and tools for the ongoing maintenance and care of the structure cannot be identified and implemented, relocation of the farmhouse to a new lot in the proposed Draft Plan of Subdivision would be preferred to ensure the continuing use of the building. The pine grove at the northwest portion of the Property, known as Russell's Hill of Pines, is proposed to be retained within Greenbelt Lands (Natural Area) zone, Greenbelt Lands (Table Lands) zone, and a Natural Feature Limit.



## 6.9 Hydrogeological Study

A Hydrogeology Study was prepared by Grounded Engineering, dated August 13, 2024. The study assessed the movement, distribution, and quality of groundwater for the Secondary Plan Area. The study evaluated the potential impacts of proposed developments on groundwater levels and quality and addressed concerns relating to contamination risks, water table fluctuations, and interaction with surface water systems. Based on the shallow groundwater depths on the Subject Lands seepage is possible but is expected to be limited as a result of the low permeability glacial till. Localized groundwater flow into shallow excavations is anticipated to be able to be controlled using localized sumps and pumps at the base of the excavations.

## 6.10 Environmental Noise Report

An Environmental Noise Report was prepared by Jade Acoustics dated February 18, 2025. This report indicates that the Subject Lands are impacted by road traffic on 10 Side Road, 10th Line, Adamson Street South, Guelph Street, Norval West Bypass and the internal roadways including Street A, Street B Street C and Street E. Additionally, potential noise associated with an existing pump station located at the northwest corner of 10 Side Road and 10th Line, an existing gas regulating station located on the west side of 10th Line, north of 10 Side Road and existing commercial and institutional uses located along Guelph Street has been evaluated. The report concludes that with appropriate mitigation measures all lots within the proposed development will meet the noise guidelines.

To meet the noise guideline limits the report made the following recommendations.

- Mandatory air conditioning is required for lots adjacent to 10 Side Road and the Norval Bypass
- Better than standard window, exterior door and exterior wall construction is required for the residential dwellings immediately adjacent to 10 Side Road and the Norval Bypass
- Noise Barriers are recommended for some lots in close proximity to the Norval Bypass
- Warning clauses are recommended where mitigation is recommended

## 6.11 Transportation Impact Study

A Transportation Impact Study (TIS) was completed by TYLin dated March 2025. As shown in the Draft Plan of Subdivision the proposed collector roads are consistent with the Southeast Georgetown Secondary Plan see Figure 8: *Southeast Georgetown Secondary Plan -Transportation and Active Transportation Network*. Street A is classified as a 23 meter collector road, Street B and Street E are identified as 26 meter collector roads. To align with Danby Road, Street A widens to 26 meter ROW at the 10th Line intersection and provides additional pavement width for a dedicated left turn lane as required. All local roads within the subdivision have ROW widths of 20 meters. The 26-meter collector road proposes two 3.5 meter travel lanes, 1.8 - 2.1 meter sidewalks, 2.4 meters parking and 1.8 meter bike lanes on both sides of the roadway. The 23 meter collector road cross-section road proposes two 3.5 meter travel lanes, one-sided 2.4m parking, 1.8 - 2.1

meter sidewalk and 1.8 meter bike lanes on both sides of the roadway. The cross-section of the 20 meters local road is based on Town's standard design guidelines for 20 meter ROW cross sections and would include two 4.25 meter travel lanes and a 1.5 meter sidewalk on both sides of the roadway.

Both 10 Side Road and Norval Bypass will be classified as Regional C(3) Urban roadway with 42 meter ROW width. This cross-section would include four lane cross-sections with two travel lanes in each direction, double sided 3.0 meter multi-use path, and a median width up to 5.0 meter to accommodate left turn lanes as required.

The existing traffic operations are currently operating well within capacity and acceptable delays during both peak hours. The 2029 future conditions were identified to operate with some deficiencies at the intersection of Winston Churchill Boulevard/Adamson Street and 10 Side Road during the AM and PM peak hours. To cater to the anticipated traffic in future, Halton Region plans to convert this intersection to a five-arm roundabout by 2031 horizon year along with implementation of the Norval Bypass. Additionally, another roundabout is proposed at the intersection of Norval Bypass and Guelph Street.

Under 2031 future conditions were also identified to operate with some deficiencies at the intersection of 10th Line and 10 Side Road. TYLin recommends two circulating lanes at the roundabout and other road improvements like localized widening along 10th Line at the approaches to the roundabout in conjunction with 10 Side Road. Additionally, TYLin also recommends that Region consider all these improvements in co-ordination with Norval Bypass to support 2031 future background traffic volumes provided by the Region.

## **6.12 Urban Design Brief**

An Urban Design Brief (UDB) was prepared by MBTW, dated March 2025. This UDB was prepared referencing the guidelines within the Southeast Georgetown Secondary Plan Urban Design Memo. The objective of the memo is to promote a cohesive and well-connected community that prioritizes environmental sustainability, high-quality public spaces, and vibrant mixed-use areas. The proposed development will align with the key recommendations and guidance outlined in the Southeast Georgetown Secondary Plan Urban Design Memo (September 2024) by prioritizing sustainable design, enhancing the public realm, and integrating local commercial and mixed-use areas into the community fabric. The UDB discusses how the proposed draft plan will conform with all applicable policy. In addition, recommendations are provided to guide build form, streetscape, sidewalk and park design.

## **7.0 Policy Context**

The following sections provide a review and analysis of the applicable Provincial, Regional, and Municipal policies and regulations. The following statutory documents have been reviewed:



- Planning Act;
- Provincial Planning Statement, (2024);
- Halton Regional Official Plan (2024);
- Halton Hill Official Plan (2024); and,
- Town of Halton Hills Zoning By-law 2010-0050.

## **7.1 Planning Act, R.S.O 1990 c.P. 13**

Section 2 of the Planning Act sets out matters of provincial interest as it pertains to land use and requires that municipal councils have regard to these in all decision making. Section 2 sets out the following matters of Provincial interest to be addressed:

*(2) The Minister, the council of a municipality... in carrying out its responsibilities under this Act, shall have regard to... matters of provincial interest such as:*

- (f) the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems;*
- (h) the orderly development of safe and healthy communities;*
- (h.1) the accessibility for persons with disabilities to all facilities, services and matters to which this Act applies;*
- (j) the adequate provision of a full range of housing, including affordable housing;*
- (p) the appropriate location of growth and development;*
- (r) the promotion of built form that,*
  - (i) is well-designed,*
  - (ii) encourages a sense of place, and*
  - (iii) provides for public spaces that are of high quality, safe, accessible, attractive and vibrant.*

Based on a review of Section 2 of the Planning Act, the approval of the proposed development would not conflict with the above-mentioned matters of provincial interest. Other matters of provincial interest identified in Section 2 of the Planning Act are not relevant to these applications. Adherence to this proposal to these matters outlined above is spoken throughout this Report. On this basis, it is our opinion that the proposed Amendments have regard for matters of provincial interest under the Planning Act.

## **7.2 Provincial Planning Statement (2024)**

The Provincial Planning Statement was issued under section 3 of the Planning Act and came into effect on October 20, 2024. It replaces the Provincial Policy Statement that came into effect on May 1, 2020.

The Provincial Planning Statement provides policy direction on matters of provincial interest related to land use planning and development. As a key part of Ontario's policy-led planning

system, the Provincial Planning Statement sets the policy foundation for regulating the development and use of land province-wide, helping achieve the provincial goal of meeting the needs of a fast-growing province while enhancing the quality of life for all Ontarians.

The PPS is specific in its language but represents minimum standards for development in the Province. It is to be read in its entirety and to be read in conjunction with other Provincial plans. The PPS does not take precedence over other Provincial plans in the instance of a conflict. PPS policies may be complemented by locally generated policies regarding matters of municipal interest, and it is understood that municipal official plans are the most important vehicle for the implementation of the PPS and comprehensive, long-term planning.

Chapter 2 of the PPS provides policy direction focusing on Building Homes and Sustaining Strong and Competitive Communities.

### ***Planning for People and Homes***

Section 2.1.1 and 2.2.2 of the PPS, 2024 direct planning authorities to base population and employment forecasts on either the Ontario Population Projections, as published by the Ministry of Finance, or continue to rely on growth forecasts previously issued by the Province for the purpose of land use planning.

The Ontario Population Projections identifies Halton Region as one of five census divisions in the Greater Toronto Area, which includes: Toronto, Durham, Halton, Peel and York. The Ontario Population Projections provides that, “census divisions with over 70% projected growth in number of seniors over 2022-2046 include: Waterloo, Wellington, Dufferin, Simcoe, Halton, Peel, York, Durham, Ottawa, Prescott & Russell.” More specifically, the suburban GTA, which includes Durham, Halton, Peel and York are projected to add approximately 2.1 million people between 2022 – 2046. Peel (62.6%), Halton (59.5%) and Durham (43.8%) are projected to grow faster than the average for Ontario.

Section 2.1.6 provides that “*Planning Authorities should support the achievement of complete communities*” by:

- a) accommodating an appropriate range and mix of land uses, housing options, transportation options with multimodal access, employment, public service facilities and other institutional uses (including schools and associated child care facilities, long term care facilities, places of worship and cemeteries), recreation, parks and open space, and other uses to meet long-term needs;*
- b) improving accessibility for people of all ages and abilities by addressing land use barriers which restrict their full participation in society; and*
- c) improving social equity and overall quality of life for people of all ages, abilities, and incomes, including equity-deserving groups.*

The PPS, 2024 defines “Complete Communities” as “places such as mixed-use neighbourhoods or other areas within cities, towns, and settlement areas that offer and support opportunities for equitable access to many necessities for daily living for people of all ages and abilities, including

an appropriate mix of jobs, a full range of housing, transportation options, public service facilities, local stores and services. Complete communities are inclusive and may take different shapes and forms appropriate to their contexts to meet the diverse needs of their populations”.

The Proposed Development will promote efficient development patterns by providing a variety of dwelling options that effectively use the developable land while respecting natural heritage and greenbelt area. The Subject Lands are currently underutilized and will further increase the number of housing units available in Georgetown, improving the overall housing supply. The Proposed Development will introduce new residential units in an area well served by surrounding employment, institutional, recreation, parks, and open space uses. The proposed development will also provide improved pedestrian and active transportation opportunities.

## ***Housing***

Section 2.2 of the 2024 PPS states that “Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:

1. *establishing and implementing minimum targets for the provision of housing that is affordable to low- and moderate-income households, and coordinating land use planning and planning for housing with Service Managers to address the full range of housing options including affordable housing needs;*
2. *permitting and facilitating:*
  - a. *all housing options required to meet the social, health, economic and wellbeing requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and*
  - b. *all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;*

The Proposed Development represents a form of residential intensification as it provides for a compact built form on lands that are currently vacant and unimproved.

3. *promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation;*

The Proposed Development utilizes existing infrastructure, including municipal servicing and transportation infrastructure, and will be built at supportive densities to optimize this infrastructure and area facilities. The proposed development will promote an efficient compact development on a currently underutilized parcel of land within the urban area. The proposal will contribute to market based range of residential dwelling types to meet the long-term needs of residents. The unit breakdown consists of 198 standard detached dwellings with varying lot frontages, 76 dual frontage detached dwellings, 111 dual frontage townhomes, 169 street townhouses and 190 back-to-back townhouses. The total collective unit count is 744 units.

## **Settlement Areas**

### **2.3.1 General Policies for Settlement Areas**

- 1. Settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.*
- 2. Land use patterns within settlement areas should be based on densities and a mix of land uses which:*
  - a. efficiently use land and resources;*
  - b. optimize existing and planned infrastructure and public service facilities;*
  - c. support active transportation;*
  - d. are transit-supportive, as appropriate; and*
  - e. are freight-supportive.*
- 3. Planning authorities shall support general intensification and redevelopment to support the achievement of complete communities, including by planning for a range and mix of housing options and prioritizing planning and investment in the necessary infrastructure and public service facilities.*
- 4. Planning authorities shall establish and implement minimum targets for intensification and redevelopment within built-up areas, based on local conditions.*
- 5. Planning authorities are encouraged to establish density targets for designated growth areas, based on local conditions. Large and fast-growing municipalities are encouraged to plan for a target of 50 residents and jobs per gross hectare in designated growth areas.*
- 6. Planning authorities should establish and implement phasing policies, where appropriate, to ensure that development within designated growth areas is orderly and aligns with the timely provision of the infrastructure and public service facilities.*

As previously noted, the Subject Lands are located within a Settlement Area. The Proposed Development facilitates the intensification of an underutilized site within a Settlement Area. The Proposed Development represents an efficient use of land and resources or infrastructure, redeveloping an underutilized site.

The proposed dwelling mix will diversify the housing stock in the surrounding area, traditionally occupied by single detached dwellings. The land use pattern proposed has been designed to utilize existing and planned infrastructure and services that will promote a cost-effective development pattern.

### **Infrastructure and Public Facilities Overview**

Chapter 3 of the PPS, 2024 provides policy direction related to “Infrastructure and Facilities” and is applicable to the Subject Property. It generally encourages infrastructure to be provided in an efficient manner and integrated with land use planning and growth management.

Section 3.6 of the PPS, 2024 outlines policies related to municipal infrastructure, including sewage, water and stormwater services. Per Section 3.6.1 of the PPS, 2024 existing infrastructure

and public service facilities are to be maximized, wherever possible, before developing new infrastructure and public service facilities. As such, the Proposed Development is planned to use existing municipal sewage services and water services, and in a manner that protects human health and the natural environment. As detailed in the Functional Servicing Report submitted in support of this application, prepared by TYLin (March 2025), the Proposed Development can be appropriately serviced. Existing services will be maximized and planned services will be available where additional capacity is required. Further, the Stormwater Management Report submitted in support of this application, prepared by TYLin (March 2025), demonstrates how stormwater will be appropriately managed.

Section 3.9 outlines guidelines for the planning and development of new public spaces, recreational areas, parks, trails, and open spaces. Designing public streets, spaces, and facilities should ensure safety and accessibility for people of all ages and abilities, including pedestrians. This approach aims to foster social interaction, encourage active transportation, and enhance community connectivity. The Urban Design Brief, prepared by MBTW (March 2025) submitted in support of this application discusses how the proposed development has been planned inline with the Urban Design Guideline Memo prepared in support of the Secondary Plan.

### ***Natural Heritage***

Chapter 4 of the 2024 PPS provides policy direction related to “Wise Use and Management of Resources” and is applicable to the Subject Property. It generally encourages the protection of natural resources, and sustainable development where adjacent to those resources.

#### ***4.1 Natural Heritage***

- 1. Natural features and areas shall be protected for the long term.*
- 2. The diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.*
- 3. Natural heritage systems shall be identified in Ecoregions 6E & 7E1, recognizing that natural heritage systems will vary in size and form in settlement areas, rural areas, and prime agricultural areas.*
- 5. Development and site alteration shall not be permitted in:*
  - c. significant woodlands in Ecoregions 6E and 7E (excluding islands in Lake Huron and the St. Marys River)*
- 8. Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in policies 4.1.4, 4.1.5, and 4.1.6 unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions*

#### ***4.2 Water***

- 1. Planning authorities shall protect, improve or restore the quality and quantity of water by:*

- a. *using the watershed as the ecologically meaningful scale for integrated and long term planning, which can be a foundation for considering cumulative impacts of development;*
  - b. *minimizing potential negative impacts, including cross-jurisdictional and cross watershed impacts;*
  - c. *identifying water resource systems;*
  - d. *maintaining linkages and functions of water resource systems;*
  - e. *implementing necessary restrictions on development and site alteration to*
    - 1) *protect all municipal drinking water supplies and designated vulnerable areas; and*
    - 2) *protect, improve or restore vulnerable surface and ground water, and their hydrologic functions;*
  - f. *planning for efficient and sustainable use of water resources, through practices for water conservation and sustaining water quality; and*
  - g. *ensuring consideration of environmental lake capacity, where applicable.*
2. *Development and site alteration shall be restricted in or near sensitive surface water features and sensitive ground water features such that these features and their related hydrologic functions will be protected, improved or restored, which may require mitigative measures and/or alternative development approaches.*

The Environmental Impact Study prepared by GEI (March 2025) mapped the natural heritage features onsite and defined the Greenbelt limits. This report provides recommendations to ensure environmental impacts are minimized. As such, the Proposed Development and corresponding Draft Plan of Subdivision and Zoning By-law Amendment are consistent with the policies of the PPS, 2024.

#### 4.6 Cultural Heritage and Archaeology

1. *Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.*
2. *Planning authorities shall not permit development and site alteration on lands containing archaeological resources or areas of archaeological potential unless the significant archaeological resources have been conserved.*
3. *Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.*
4. *Planning authorities are encouraged to develop and implement:*
  - a. *archaeological management plans for conserving archaeological resources; and*
  - b. *proactive strategies for conserving significant built heritage resources and cultural heritage landscapes.*
5. *Planning authorities shall engage early with Indigenous communities and ensure their interests are considered when identifying, protecting and managing archaeological resources, built heritage resources and cultural heritage landscapes.*

As discussed above a HIA (March 2025) was completed by LHC Heritage Planning & Archaeology. The Farmhouse currently onsite is listed as a non-designated property on the Town's



Municipal Heritage Register. Retention of the farmhouse in situ within a new park is the preferred alternative. However, in the event a new use and tools for the ongoing maintenance and care of the structure cannot be identified and implemented, relocation of the farmhouse to a new lot in the proposed Draft Plan of Subdivision would be preferred to ensure the continuing use of the building. The pine grove at the northwest portion of the Property, known as Russell's Hill of Pines, is proposed to be retained within Greenbelt Lands (Natural Area) zone, Greenbelt Lands (Table Lands) zone, and a Natural Feature Limit. In addition a Stage 1-4 Archaeological Assessment (October 2021) was completed for the Subject Lands and has received Ministry approval.

The above analysis of the applicable policies of the PPS, 2024 demonstrates that the Proposed Development is consistent with the PPS, 2024 by allowing for development, at an appropriate density, in an area served by existing infrastructure, respects natural heritage and ensures public safety and is in support of the goals of the PPS, 2024.

### **7.3 Halton Region Official Plan (2024)**

In October 2022, the Province tabled Bill 23, More Homes Built Faster Act, 2022. This legislation identified Halton Region as an “upper-tier municipality without planning responsibilities”. In April 2024, through Bill 185, Cutting Red Tape to Build More Homes Act, 2024, the effective date of this change to Halton Region's role in land use planning was identified as July 1, 2024.

As a result, as of July 1, 2024, the Regional Plan will no longer be an official plan for the Regional Municipality of Halton. Instead, it will be deemed an official plan of each of the Local Municipalities in Halton (the City of Burlington, Town of Halton Hills, Town of Milton, and Town of Oakville) until such time as it is revoked or amended by the respective municipality.

The Region of Halton Official Plan outlines policies and strategies that are consistent with the policy directions of the PPS, and other Provincial plans. The policies and strategies contained in the Plan are centred around the concept of sustainable development which, among other things, supports growth and development that takes place by balancing the protection of the natural environment, enhancing economic competitiveness and fostering a healthy and equitable society.

Part 3 of the Regional Official Plan outlines land use designations of the Regional Structure. The Subject Lands are within the Urban Area as shown on Figure 3: *Halton Region Official Plan – Regional Structure*. With respect to the objectives and policies of the Urban Area:

72. *The objectives of the Urban Area are:*

- (2) *To support a form of growth that is compact and supportive of transit usage and non motorized modes of travel, reduces the dependence on the automobile, makes efficient use of space and services, promotes live-work relationships and fosters a strong and competitive economy.*

- (3) *To provide a range of identifiable, inter-connected and complete communities of various sizes, types and characters, which afford maximum choices for residence, work and leisure.*

The Subject Lands are located primarily within Halton Region's "Urban Area" (see *Figure 3*) and are therefore identified by the Region as an area for growth and development. A small portion along the northern limits of the Subject Lands are designated Greenbelt Plan Protected Countryside Area see *Figure 4: Halton Region Official Plan – Provincial Plan Areas & Land Use Designations*.

The Region works with the Local Municipalities to identify specific areas for growth and development opportunities. As the Southeast Georgetown Secondary Plan proposes to designate the Subject Lands with a mix of residential and complementary uses, these policies are met. In the Local Municipalities' Area Plans, lower-tier municipalities are required to include goals and objectives. The Proposed Development consists of a complete residential and mixed-use community that promotes walkability and includes recreational, commercial, and service uses, and therefore aligns with the Region's goals and objectives. The Southeast Georgetown Secondary Plan includes a land use schedule for the lands within the Secondary Plan Area, directing growth and intensification to specific areas (see *Figure 7*). The proposed Draft Plan of Subdivision and Zoning By-law Amendment support the Region's policy directives on healthy communities. The Proposed Development will create a walkable community where future residents can walk or cycle to facilities for social, cultural and recreational purposes.

Furthermore, the Halton Region Official Plan sets out targets for development density within the Designated Greenfield Areas. Policies with respect to this include the following:

55.2 *The Regional Structure also sets out the Regional phasing to be achieved every five years from 2012 to 2031 between the Built-Up Areas and the Designated Greenfield Areas in Table 2a.*

56. *Guided by Halton's planning vision, policies in this Plan are developed to ensure the integrity, maintenance and enhancement of the Regional Structure.*

*Table 1 – Population and Employment Distribution* allocates 132,060 people to Halton Hills to the year 2051. *Table 2 – Intensification and Density Targets* identifies the minimum overall development density in Designated Greenfield Areas as 62 Residents and Jobs Combined per Gross Hectare for Halton Hills. Furthermore, *Table 2a – Regional Phasing* states that Halton Region is to achieve 14,970 new residential units in Designated Greenfield Areas between 2022 and 2026, and a further 15,900 residential units between 2027 and 2031. The Proposed Development will provide 744 units in low and medium density forms, as well as future medium density forms of housing proposed for the Mixed Use Block. As such, the proposed Draft Plan of Subdivision will assist the Region of Halton and Town of Halton Hills in achieving population and density targets.

The Region of Halton Official Plan also contains policies on *Urban (Water Supply and Wastewater Treatment) Services*. Relevant policies are as follows:



89. *It is the policy of the Region to:*

- (12) *Monitor the servicing requirements of proposed and approved development in terms of allocations of water supply and wastewater treatment capacities to ensure that total system capacities, with an adequate reserve for operational flexibility and emergency situations, are not exceeded and to provide sufficient lead time for the planning, approvals and construction of new facilities.*
- (13) *Monitor the quantity of flows in both the water supply and wastewater treatment systems and [formerly Section 89(14)b)] develop, in consultation with the Local Municipalities, programs for allocating the remaining servicing capacities on the basis of the status of development approvals and Local Official Plan phasing strategies.*

The Subject Lands are outside the Built Boundary and are therefore subject to the Region's Allocation Program. The SWM and FSR completed by TYLin (March 2025) outlines how storm water will be managed across the Subject Lands and discusses how the proposed development will be serviced.

Within the Regional Official Plan, *Part IV- Healthy Communities* provides a detailed policy overview of the natural and built forms located in Halton Region. Part IV provides clarity to execute the vision and regional objectives of establishing a healthy, sustainable and complete community in Halton Region. The EIS prepared by GEI (March 2025) and the Tree Inventory and Preservation Plan prepared by Kuntz (February 2025) discuss how environmental features have been identified. These reports provide recommendations to ensure protection of environmental features and trees that will be retained. The Proposed Development will achieve these policy directives through the provision of a well-planned and connected residential and mixed use subdivision, providing a number of active transportation opportunities. Two parks, and a variety of walkways and trails are proposed, providing visual and physical connectivity to other lands within the Southeast Georgetown Secondary Plan Area.

#### **7.4 Town of Halton Hills Official Plan (2024)**

The Town of Halton Hills' Official Plan, Office Consolidation April 2024 (the "Official Plan") contains goals, objectives and policies used to guide decisions on land use, built form, transportation, and the environment. The Subject Lands and are designated "Future Residential/Mixed Use Area" see Figure 5: *Halton Hills Official Plan – Georgetown Urban Area Land Use Plan* and are largely within the "Urban Area" designation of the Georgetown Built Boundary see Figure 6: *Halton Hills Official Plan – Georgetown Built Boundary & Intensification Areas*. The northern limits of the Subject Lands are outside the Urban Area and are Greenbelt Lands.

The Town of Halton Hills Official Plan, Part B contains Environmental and Open Space Land Use Policies. Section B1.2.4 provides guidance relating to lands adjacent to NHS lands:

*B1.2.4 Adjacent lands are the lands adjacent to a natural heritage feature within which potential impacts of a development proposal must be considered. For the purposes of this Official Plan, adjacent lands are defined as all lands partially or wholly within:*

- *50 metres of the boundary of an Environmentally Sensitive Area.*

*No development shall be permitted on adjacent lands unless an Environmental Impact Study and/or a Subwatershed study and/or a Geotechnical study is completed and approved by Council, subject to the comments of the appropriate agencies.*

An Environmental Impact Study has been prepared by GEI (March 2025) and will accompany this application. GEI identified the limits of the Greenbelt, natural heritage features, and environmental areas on the Subject Lands. The proposed development will respect the limits of these areas while also providing opportunities for restoration and improvements.

Section B.1.2.7 regards trails within the Greenlands System:

*B1.2.7 The development of trails within the Greenlands System shall be encouraged provided that:*

- a) the trails are located on publicly owned lands or are part of the Bruce Trail;*
- b) the trails and associated activities do not impact negatively on natural heritage features and ecological functions or resource uses such as agricultural operations as demonstrated through the preparation of Master Plans approved by Council in consultation with the Region and the appropriate Conservation Authority;*

As stated in the Urban Design Brief, prepared by MBTW (March 2025) trails are proposed to be located on publicly owned lands. More specifically, they are proposed to be located within the Woodlot Buffer and Compensation Woodland Block areas of the Greenbelt. However, no trails will be located within Woodlot Blocks themselves, ensuring that they remain protected and that natural heritage features are not impacted.

Section B1.2.7 regards Significant Woodlands. Relevant policies are as follows:

*B1.2.7 All woodlands 0.5 hectares or larger, have been identified by the Region to be an important natural heritage feature and candidates for assessment as significant woodlands. It is the policy of this Plan to:*

- a) *Identify and show on the Urban Land Use Schedules to this Plan, significant woodlands as a component of Greenlands B through Watershed Management Plans, Subwatershed Studies, or individual site specific Environmental Impact Studies; and,*
- b) *Require the submission and approval of an Environmental Impact Study that identifies or refines the boundaries of significant woodlands and implements measures to protect such significant woodlands for any development proposal, other than individual consents or uses conforming to this Plan and Zoning By-laws, located wholly or partially within 50 metres of woodlands 0.5 hectares or larger.*

The Environmental Impact Study prepared by GEI (March 2025) identifies Significant woodlands within the Subject Lands. These woodlands will be generally retained and protected with a 30 m VPZ from the proposed development limit. However, to accommodate the proposed development, vegetation removals and encroachments into the 30 m Vegetation Protection Zone (VPZ) are required, resulting in the removal of 0.16 ha of significant woodland and 0.77 ha of VPZ encroachment. In the eastern portion of the Subject Lands, 0.16 hectares of cultural woodland will be removed and 0.58 hectares of VPZ encroachment are necessary, while west of the Norval Bypass, an additional 0.19 hectares of VPZ encroachment is required. The portions of cultural woodland proposed for removal are highly disturbed and show signs of degradation due to surrounding agricultural activity and road infrastructure.

Given these existing disturbances, the ecological function of the woodland is already compromised. Despite these impacts, positive ecological outcomes are anticipated through the establishment of a woodland enhancement zone, which will encompass the 30 m VPZ and the remaining Greenbelt Plan Area. Currently consisting of agricultural lands and an invasive Buckthorn thicket (0.23 ha), these areas will be restored with 5.36 ha of woody vegetation, including 3.23 ha within the significant woodland VPZ and 2.13 ha within the Greenbelt Plan Area. Resulting in an overall increase of 2.13 ha of woody vegetation within the NHS. This restoration effort will enhance habitat connectivity.

Section C8 of the Town's Official Plan established policies regarding Stormwater Management. The following policies are of relevance:

*C8 The SWM Report shall be prepared to the satisfaction of the Town and the appropriate agencies and be prepared in accordance with The Ministry of Environment Stormwater Management Planning and Design Manual, 2003, or its successor, or through the completion of an EIR where required by an approved Subwatershed Study, and shall:*

- a) *provide recommendations on a stormwater quantity system that ensures that post development peak flow will not be greater than the pre-development levels for storms up to and including the Regional storm and the 1:100 year storm event:*

The SWM report provides recommendations and preliminary designs for the stormwater management Infrastructure. A SWM Pond and LID measures will ensure that post- development peak flow will not be greater than the pre-development levels for storms up to and including the Regional storm and the 1:100 year storm event. The recommendations provided in the TYLin SWM report (March 2025) suggest a SWM pond located east of the Norval Bypass will accept drainage from a majority of the Subject Lands and a portion of the Norval Bypass. This facility will discharge to the Credit River and will be overcontrolled to match existing peak flows. The Silver Creek facility is proposed as an underground storage tank, located in the Tableland Greenbelt. Flow to Levi Creek will be maintained to the extent feasible by diverting runoff from the local residential rooftops and commercial/mixed-use block rooftops located west of the Norval Bypass ROW and the residential rear lots north of the commercial/mixed-use block.

- b) provide recommendations on how to maintain post-development water quality and improve run-off where appropriate;*

The SWM report provides recommendations and preliminary designs for the stormwater management infrastructure; SWM Pond and LID measures will ensure that water quality treatment is provided in the post development condition. Water quality treatment is primarily proposed through end of pipe stormwater management ponds, on-site control area quality treatment will be provided via Oil Grid Separator (OGS) or other LID measures such as infiltration or exfiltration trenches.

Sections D1.3.1 and D1.3.2 regard, respectively, Low Density and Medium Density Residential Areas. This section includes permitted uses for both areas, which will be implemented in area-specific policies and regulations through the Southeast Georgetown Secondary Plan and the proposed Zoning By-law Amendment.

Section D1.4.4 relates to the establishment of New Medium and High Density Residential Areas:

*D1.4.4 In considering the development of new medium and high density residential development by way of Amendment to this Official Plan, Council shall be satisfied that the proposal:*

- a) is located on and has direct access to a Collector or Arterial Road as shown on Schedule B1 to this Plan;*
- b) respects the character of adjacent residential neighbourhoods, in terms of height, massing and setbacks;*
- c) can be easily integrated with surrounding land uses;*
- f) is located in close proximity to community facilities, such as parks, schools and open spaces;*
- j) municipal water and wastewater services are adequate and available.*

The Proposed Development will assist in achieving a complete community through the provision of a well-planned and connected residential and mixed use subdivision, providing a number of enhanced active transportation opportunities, two parks, and a variety of potential commercial uses, and service uses in the Mixed Use Block. Walkways and trails are recommended in the

Greenbelt Lands. A high standard of urban design will be applied to all land uses proposed for the Subject Lands. Refer to the UDB prepared by MBTW (March 2025) for a detailed explanation of the recommendations.

Section D6.3.3.2 regards Comprehensive Planning within the “Future Residential/Mixed Use Area”:

*Prior to the approval of any development within this designation, the following must be completed:*

- a) a Joint Infrastructure Staging Plan, in accordance with the policies of Section F10.4 of this Plan;*
- b) a Secondary Plan, in accordance with the policies of Section G3.1 of this Plan and including the establishment of the local phasing of development to the 2031 planning horizon according to the policies of Section F10.4 of this Plan, to the satisfaction of Council;*
- c) a Block Plan according to the policies of Section G3.2 of this Plan, to the satisfaction of Council*

A Secondary Plan has been advanced by Town the Town of Halton for the Subject Lands. In accordance with Section G3.1 of the Official Plan, the Secondary Plan:

- establishes clear boundaries for the community;*
- establishes population, housing unit and employment capacity targets;*
- establishes an appropriate mix of land uses;*
- establishes objectives that prioritize the protection of the natural environment;*
- ensures that the Town’s urban design objectives and policies are met;*
- ensures that adequate transportation networks are established and are supported by the Proposed Development pattern;*
- ensures that cost-effective and efficient water and wastewater servicing can be accommodated;*
- establishes phasing and servicing policies;*
- includes policies pertaining to the provision and location of utilities;*
- establishes a land use pattern that promotes a mix of uses, with compact communities that support transit and active transportation;*
- establishes overall density targets; and*
- is accompanied by all studies required under the Official Plan.*

The proposed Draft Plan of Subdivision and Zoning By-law Amendment applications are supported by a council endorsed Preferred Land Use Plan which encompasses the Southeast Georgetown Secondary Plan Area see Figure 7: *Southeast Georgetown Secondary Plan – Land Use Plan*.

Section F1 of the Official Plan is related to the Subdivision of Land. Relevant policies from this section are included below:

*F1.3 Subdivision Development Policies*

*Prior to the consideration of an application for Plan of Subdivision, Council shall be satisfied that:*

- a) the approval of the development is not premature and is in the public interest;*
- b) the lands will be appropriately serviced with infrastructure, schools, parkland and open space, community facilities and other amenities;*
- c) the density of the development is appropriate for the area;*
- d) the subdivision, when developed, will be easily integrated with other development in the area;*
- e) the subdivision conforms with the environmental protection and management policies of this Plan; and,*

The proposed Draft Plan of Subdivision and Zoning By-law Application is in conformity with Provincial, Regional and Local policies, and helps the Region and Town achieve their population growth targets. The Subject Lands will be appropriately serviced with two Neighbourhood Parks, and a Parkette, a network of trails, and potential commercial and service uses to support the community. As outlined in the FSR prepared by TYL (March 2025), the lands can be adequately serviced, and the Traffic Impact Study (“TIS”) prepared by TYLin (March 2025), demonstrates that the proposed and existing road network will satisfactorily support the proposed development. The proposed density is appropriate and will help to achieve density targets for the Greenfield area. The proposed Draft Plan of Subdivision is in conformity with Section F1.3.

Section F2.2.1.2 establishes policies for the design of roads. The following policies are relevant to the Proposed Development:

*F2.2.1.2 Roads*

*Road designs shall include well-designed streetscape features, incorporating, among other things: street tree planting, street lighting and furnishings, sidewalk and boulevard treatments, a variety of paving materials, and, where appropriate, bicycle lanes, community mailboxes and future transit shelters.*

*The design of roads shall incorporate a high quality of urban design standards. On this basis:*

- a) road rights-of-way shall be designed to secure a separation of vehicles and pedestrians and should provide an appropriate sidewalk for pedestrian use;*
- b) on collector and arterial roads within Urban Areas and Hamlet Areas, a suitable boulevard shall be provided to separate the road curb from the sidewalk and such boulevard shall include hard and/or soft landscape materials, street trees and pedestrian-level street lights, where appropriate;*



- d) a regularized pattern of street tree planting shall be encouraged along roads within Urban Areas and Hamlet Areas, and the Town shall establish minimum planting standards and species types in the Site Plan Manual and/or Council-adopted Urban Design Guidelines;*
- e) the number and location of access points onto the public road system shall be minimized by encouraging common access points to be shared by adjacent development;*

The Proposed Draft Plan of Subdivision conforms to the above policies. All proposed roads will have sidewalks. Major Collectors, Minor Collectors and Local Roads will all have sidewalks on at least one side. Sidewalks will be separated from paved roadways by a boulevard planted with trees, creating a safe and attractive network for pedestrian movement. See the Urban Design Brief prepared by MBTW (March 2025) for a detailed explanation of the proposed tree planting. Finally, access points to the existing public road system have been planned cohesively for all lands within the Secondary Plan Area.

Section F3 regards Design for New Communities. The following policies are applicable to the Proposed Development:

*F3      Design for New Communities*

*The following community design principles apply to development in greenfield areas:*

- a) Residential development shall include a combination of housing types, with a range of densities that implement the housing objectives and policies of this Plan;*
- b) High density housing shall be located on arterial and collector roads to ultimately facilitate the establishment of public transit and a pedestrian-oriented environment;*
- c) New development areas shall be integrated with existing Built-up Areas;*
- d) New subdivision streets should align in a grid pattern to create appropriately sized development blocks and to promote traffic permeability and street connectivity;*
- f) Open space and parkland areas shall integrate with adjacent development areas and provide a range of active and passive recreational opportunities;*
- g) School sites shall be centrally located to be integrated with parkland in a manner that supports their development as community hubs and/or neighbourhood gathering places which are the site of a full range of uses. The number and location of school sites shall be very carefully chosen and take into account the location of existing schools and programs;*
- h) New buildings shall be designed and oriented to the street and to street corners to encourage a pedestrian-oriented streetscape;*

The proposed Draft Plan of Subdivision includes a variety of housing types, including single detached lots of various sizes, as well as townhouses. The Draft Zoning By-law Amendment

provides for a variety of housing types at different densities, including detached, dual frontage, street, and back-to-back, and block townhouses. The NHS lands are retained in the Draft Plan of Subdivision in their natural formation, while parks are located central to the residential areas, providing accessible recreation areas.

*Section F7 regards Public Parkland. Relevant policies include:*

*F7.3.1 Parkland Siting and Design*

*All public parkland shall:*

- a) have as much street frontage as possible and be open to view on as many sides as possible to maximize visibility from adjacent streets and promote safety;*
- b) maximize public safety through park block size, visibility, configuration and location of park fixtures and facilities;*
- c) have direct and safe pedestrian access from adjacent residential areas or adjacent greenlands where appropriate;*
- f) be integrated into the fabric of the adjacent neighbourhood by promoting open space or walkway linkages to adjacent facilities, neighbourhoods and natural features;*
- g) be connected, wherever possible, to trail systems, cycling routes, walkways, natural*
- h) heritage corridors, utility corridors and drainage systems: and,*

*F7.3.4. Parkettes*

*Parkettes shall:*

- d) be required for housing developments that provide smaller lots with reduced opportunities for amenity areas;*
- e) be centrally located within the neighbourhood it is intended to serve; and,*
- f) provide a range of opportunities for active and passive activities, particularly for young children and older adults seeking close to home activities.*

*F7.3.4.2 Neighbourhood Parks shall:*

- d) be centrally located within the neighbourhood or neighbourhoods it is intended to serve;*
- e) have frontage on a Collector Road that is adequate for the provision of on-street parking and site visibility;*
- f) be located adjacent to an elementary school, other community facilities where feasible, other open space lands or storm water detention areas to complement*
- i) existing facilities and/or provide a neighbourhood focal point; and,*



The two neighbourhood parks and parkette, both in central community locations, will each have appropriate street frontages, providing visibility and access to the surrounding community. They will be well-connected to the surrounding community via pedestrian sidewalks, which themselves will link to the trail system and connect the parks to the greater community. As the parks are centrally located, most residents will have convenient access to a park by foot.

Through this review of relevant sections of the Town of Halton Hills Official Plan, it is clear that the proposed Draft Plan of Subdivision can be developed in accordance with the Town's objectives and policies. It is anticipated that this development will assist in the achievement of many municipal goals, objectives, and policies.

## **7.5 Southeast Georgetown Secondary Plan, OPA 59 (prepared by SGL Planning on behalf of the Town of Halton Hills, 2024)**

The Town of Halton Hills Official Plan requires that a Secondary Plan be completed and adopted before development can take place within the Southeast Georgetown Secondary Plan area. The Town of Halton Hills retained SGL Planning and Design Inc. (SGL) to undertake a Secondary Plan for the lands known as Southeast Georgetown. The purpose of the Secondary Plan Study is to prepare a detailed land use and infrastructure plan for the Southeast Georgetown area.

At this time a Council endorsed Preferred Land Use Plan has been identified see Figure 7: *Southeast Georgetown Secondary Plan – Schedule H9 – Land Use Plan*. The proposed Draft Plan of Subdivision and Zoning By-Law Amendment has been prepared in consultation with the Town of Halton Hills and aligns with the Preferred Land Use Plan.

A Public Meeting was held by the Town of Halton Hills on November 18, 2024 to discuss Official Plan Amendment No. 59 which will establish a Secondary Plan.

Section H9.1.2 of the Secondary Plan establishes Guiding Principles:

### *H9.1.2 Guiding Principles*

- a) Provide for a mix of built form and a street and block pattern that contributes to a walkable community;*
- b) Provide for a mixed-use area to create a sense of place and a community hub which accommodates daily needs of residents;*
- c) Conserve the area's natural heritage features and cultural heritage resources and design the community so that these elements are integrated into the community;*
- d) Provide for a range of sustainability measures and urban design best practices;*
- e) Locate parks, and trail connections, to create easy access to recreation and active transportation;*
- f) Enhance existing views to natural heritage features and incorporating connections to nature; and*
- g) Ensure new communities are accessible for all ages and abilities.*

The proposed Draft Plan of Subdivision meets the intent of the Guiding Principles. The community will be well connected internally, with a series of public streets, sidewalks, and recreational trails allowing a seamless connection within the community and to external communities via automobile, bicycle, and foot. A variety of residential built forms are proposed, including single detached lots of various sizes and townhouses, as well as zoning permissions for street, laneway, back-to-back, stacked and block townhouses, multiple dwellings, apartment buildings and mixed-use buildings. The density will ensure that infrastructure can be provided efficiently, minimizing environmental impacts (see the FSR and EIS for more details). The variety of housing sizes and types will provide for all types of household sizes, ages, incomes and abilities. A high quality of urban design will be employed across all land uses, creating a pedestrian scale and a sense of place (see the UDB more details).

The Natural Heritage features on the Subject Lands have been identified and mapped through the EIS prepared by TYLin (March 2025) and are protected by the proposed Draft Plan of Subdivision and Zoning By-law Amendment. The woodlots will be surrounded by protected buffer blocks and complemented by compensation woodland blocks and vista blocks. Parks are proposed to be located at central points in the community, providing recreation opportunities accessible to all residents and making them central gathering spaces.

## *H9.2 General Policies*

### *H.9.2.1 Community Structure*

- a) *Schedule H9-1 provides the detailed land use designation for Southeast Georgetown. The land use designations and detailed descriptions are listed below:*

#### *I. Local Commercial / Mixed Use*

*This area is to be planned as a mixed use area and will accommodate a mix of retail and personal services in a “main street” orientation. The Local Commercial / Mixed Use area will be planned to accommodate either at-grade commercial as part of a mid-rise built form (up to 8 storeys) or as standalone commercial buildings orienting to 10 Side Road. Storefronts in the Local Commercial / Mixed Use designation shall be oriented to 10 Side Road and Collector Road ‘B’ to establish a “main-street” character.*

#### *II. Low Density Residential*

*Low Density Residential designation is generally located at the northern portion of Southeast Georgetown. Low Density Residential land uses shall permit singles and semis up to 3 storeys.*

### III. *Medium Density Residential*

*The Medium Density Residential designation is generally concentrated in the southern portion of Southeast Georgetown. Built form will be no taller than 6 storeys and will range from 3-6 storeys in height. Permitted built form would include duplexes, triplexes, quattroplex, street townhouses, dual frontage street townhouses, block townhouses, stacked townhouses, low-rise apartment or condominium dwellings, and long term care facilities and retirement homes.*

### IV. *Parks and Trails*

*The Neighbourhood Park is approximately 1.9 hectares and abuts the Norval West Bypass. A Parkette of approximately 0.4 hectares is proposed east of the Norval West Bypass abutting the Greenbelt. This parkette can incorporate the Russell Farm complex if relocation is required to accommodate the Norval West Bypass. A Parkette of approximately 0.2 hectares is also proposed along Collector Road 'C' to provide additional parkland for residential areas.*

*There are three types of trails in Southeast Georgetown: a multi-use path along Tenth Line and Collector Road 'A', a gravel trail within the Greenbelt that abuts Southeast Georgetown with trail connections and trailheads into the community, and pedestrian connections that allow pedestrian connection from intersections within residential land uses. The location and size of the park and parkettes are approximate and will be finalized during Draft Plan Approval.*

### V. *Collector Road System*

*Schedule H9-2 provides the transportation and active transportation network for Southeast Georgetown. The collector road system is made up of:*

- An east-west Collector Road 'A' extending from the intersection of Danby Road and Tenth Line,*
- A north-south Collector Road 'B' which extends from 10 Side Road, connects to the eastern terminus of Collector Road 'A',*
- Collector Road 'C' which extends from Collector Road 'B' and terminates at the intersection of Argyll Road and Tenth Line.*

*Collector roads shall be planned and designed to accommodate all users (pedestrians, cyclists, public transit and vehicles) using a complete streets approach. The portion of 10 Side Road along the Local Commercial / Mixed Use area will be designed to*

*accommodate wider sidewalks, on-street parking, and traffic calming techniques.*

The proposed Draft Plan of Subdivision has been drafted through both consultation with the Town of Halton Hills during the Secondary Planning process to ensure that it aligns with the Council endorsed Preferred Land Use Plan. The proposed dwelling types, densities, road network, and park size conforms to draft Secondary Plan OPA policies.

#### *H.9.2.3 Urban Design*

*Development shall consider the design and built form policies of Section F2 of this Plan as well as guidelines outlined in the Southeast Georgetown Urban Design Memo.*

The Urban Design Brief prepared by MBTW (March 2025), in support of this application discusses how the guidelines outlined in the Southeast Georgetown Urban Design Memo have been followed. The UDB discusses how these guidelines will be used during more detailed design and planning stages of the Secondary Plan Area. High quality built form and landscaping that represents a safe, livable and healthy community will be encouraged. The UDB provides streetscape design criteria with respect to supporting community safety by design.

#### *H9.3 Local Commercial / Mixed Use*

##### *H9.3.1 Goal*

*The Local Commercial / Mixed Use shall:*

- a) Be the focal point for the community.*
- b) Be the only location of retail and personal services in Southeast Georgetown servicing the Secondary Plan area and surrounding residential neighbourhoods; and*
- c) Permit and accommodate residential uses, provided local commercial uses are also developed.*

##### *H9.3.2 Permitted Uses*

- a) In addition to the permitted uses as outlined in Policy D2.5.5.4 of the Plan, the following uses are permitted:*
  - a. Live/work uses;*
  - b. Stacked townhouse dwellings;*
  - c. Apartment dwellings.*
- b) Notwithstanding D2.5.5.4 e), the size of supermarkets will be determined through the implementing zoning by-law.*

#### *H9.3.3 Floor Space Restrictions*

- a) Notwithstanding D2.5.5.5, the maximum gross leasable floor area shall be between 1,800 square metres to 2,300 square metres.*
- b) Residential uses shall only be permitted once a minimum of 2,000 square meters of gross leasable commercial floor area is developed. Residential and commercial land uses can be developed concurrently.*

#### *H9.3.4 Density and Height*

*The density range shall be 60 to 150 units per net residential hectare and the maximum building height shall be eight (8) storeys.*

A detailed plan for the Local Commercial Mixed-Use Block has not yet been determined. However, the draft Zoning By-law Amendment implements the policies of the Secondary Plan. Permitted uses include all townhouse types, multiple dwellings, apartments, mixed use buildings, long term care homes and retirement homes. A number of appropriate commercial, service and institutional uses are proposed to be permitted; these are permitted in the first storey of an apartment or mixed-use building, as standalone uses, and in multi-unit commercial buildings.

During the Site Plan process, it will be demonstrated that the development of this block conforms to the policies related to ground floor commercial uses, the visibility and location of non-residential uses, and density.

#### *H9.4 Low Density Residential*

##### *H9.4.1 Goal*

*It is the intent of this Plan that the Low Density Residential designation be planned to accommodate ground related housing on a network of local and collector roads.*

##### *H9.4.2 Permitted Uses*

- a) Policy D1.3.1.1 of the Plan establishes the permitted uses.*

##### *H9.4.3 Density and Height*

- a) The permitted density range shall be 24 to 30 units per net residential hectare and the maximum building height shall be no higher than three (3) storeys.*

##### *H9.4.4 Design*

- a) Low Density Residential areas shall be subject to architectural control guidelines which set out design criteria that ensures a consistently high standard of architectural design quality for all new low density residential dwellings and establish a unique identity in Southeast Georgetown.*

*Lots shall not back onto collector or arterial roads except as dual frontage dwellings.*

#### *H9.5 Medium Density Residential*

##### *H9.5.1 Goal*

*It is the intent of this Plan that the Medium Density Residential designation be planned to accommodate higher density, multi-unit dwellings and developments concentrating higher density on the east and west sides of the Norval West Bypass and reinforcing the principle of safe communities that support future transit.*

##### *H9.5.2 Permitted Uses*

*In addition to the permitted uses as outlined in Policy D1.3.2.1 of the Plan, the following use is permitted:*

- a) Stacked townhouses;*
- b) Back-to-back townhouses.*

##### *H9.5.3 Density and Height*

- a) The maximum building height shall range between three (3) to six (6) storeys. Maximum density for this area will be 80 units per net residential hectare.*

##### *H9.5.4 Special Development Policies*

- a) Lots shall not back onto collector or arterial roads except as dual frontage dwellings or apartment buildings.*
- b) Given the prominent location of this land use designation, special consideration will be given to establishing taller built form, public art, gateway features, and/or corner-oriented lots and built form at the intersection of Collector Road 'A' and the Tenth Line.*
- c) All Medium Density Residential development shall be accessed by Local Roads or private or public lanes to minimize access onto Collector Road 'A', Collector Road 'B' and 10 Side Road and support the development of complete streets; and*
- d) Buildings fronting on Collector Road 'A', 'B', 'C', Tenth Line and 10 Side Road shall be located close to the street and designed to frame the street.*

The Draft Plan of Subdivision and corresponding Draft Zoning By-law were drafted referencing these secondary plan policies. The permitted uses, dwelling types, heights, and densities proposed for the Low Density Residential, Medium Density Residential, and Commercial Mixed-Use designations within the draft zoning by-law conform with the secondary plan policies.

## *H9.6 Parks and Open Space Area*

*H9.6.1 Major parks and open space policy requirements are set out in Section B2 of this Plan.*

*H9.6.2 Parkland development shall be subject to the policies set out in Section F7.3*

### *H9.6.4 Parkland Classification*

- a) The following types of parkland are identified in Schedule H9-1:
  - i. A Neighbourhood Park; and*
  - ii. Two Parkettes.**
- b) The size requirements for Neighbourhood Parks and Parkettes are set out in Section F7.3.4.*

As shown on the draft plan of subdivision the locations of the parks generally conform with the proposed locations on the preferred land use plan. There is a neighbourhood park proposed in a central location west of the Norval By-Pass and parkette further north on Street C. East of the proposed Norval By-Pass there is a smaller park proposed.

## *H9.7 Road Network*

*H9.7.1 Local Roads will have a minimum right-of-way width of 20 metres.*

*H9.7.2 Collector Roads 'A' 'B' and 'C' are considered a Major Collector Road and will have a minimum right-of-way width of 26 metres.*

### *H9.7.2 Design of Collector Roads*

- a) While Collector Roads are designed to allow for the ease of motor vehicle traffic throughout Secondary Plan area, they shall be designed as complete streets recognizing the higher density development along the streets with and the need to be pedestrian oriented and support future transit;*
- b) Priority shall be given to ensuring that future public transit facilities, such as stops, shelters and dedicated lanes are all part of the overall design of Collector Roads;*
- c) Intersections will incorporate specialized pedestrian crossings and streets.*

### *H9.7.4 Sidewalks*

- a) Collector Roads 'A', 'B' and 'C' shall have sidewalks on both sides;*
- b) All Local Roads shall have a sidewalk on at least one side.*

As indicated in the TIS prepared by TYLin (March 2025) the ROW of local roads will be 20 meters and 26 meters for collector roads. Two-sided sidewalks have been proposed on all internal roads



of the site to facilitate pedestrian movement throughout the site and to connect pedestrians to the trail networks. A multi-use path (MUP) is proposed on both sides of the Region Roads i.e., Norval Bypass and 10 Side Road with no bike lanes. A multi-use path (MUP) is proposed along the east side of 10th Line. On collector roads, street bike lanes and sidewalks are proposed on both sides of road. Off-road trails are proposed on both east and west sides of the Subject Lands. These off-road trails also connect to the proposed MUPs, and sidewalks proposed on internal collector and local roads. The proposed street network and sidewalk locations conform with the policies in the draft Secondary Plan.

#### *H9.8 Servicing*

*Servicing in Southeast Georgetown shall be undertaken in accordance with the former Region of Halton Official Plan, Section F8.2 of the Town of Halton Official Plan and the following policies:*

- a) Any new development within Southeast Georgetown shall be developed on full municipal services or demonstrated servicing capacity;*
- b) Prior to development being approved, applicable capacity for water and wastewater is to be confirmed to the satisfaction of the Town and Region;*
- c) New development shall adequately address stormwater management to prevent degradation of natural areas and control downstream flooding and erosion;*
- d) Water quantity, quality, water balance, and erosion shall be addressed with any new development applications and LID principles and criteria established by the Town, Region and Credit Valley Conservation Authority shall be considered*

The SWM/FSR prepared by TYLin (March 2025) indicates that the proposed development will be serviced through municipal servicing. The FSR provides details on when these services will be available and what portion of the secondary plan area relies on future services. The proposed development conforms with the servicing policies within the Secondary Plan.

#### *H9.10 Natural Heritage System*

- H9.10.1 Within the subject lands shown in Schedule H9-3, the Scoped Subwatershed Study has identified a vegetation community as a wetland that has been proposed for removal and replication. The wetland has not been included in the Natural Heritage System based on its lack of provincial or regional significance and its lack of connection to other natural heritage features or areas. The decision for the wetland to be removed and replicated elsewhere should be (a) guided by the completion of future technical studies that follow appropriate Ecosystem Off setting Guidelines and (b) approved by the appropriate responsible authority*



The EIS completed by GEI (March 2025), addresses the natural heritage features and associated functions found on and adjacent to the Subject Lands. The proposed development will consist of residential dwellings, a commercial block, a SWM pond and underground stormwater storage tank and parks. No negative impacts to the retained natural heritage features are predicted as a result of the proposed development are anticipated if the recommended mitigative measures are enacted and monitored.

### *H9.11 Cultural Heritage*

#### *H9.11.1 Built and Cultural Heritage Resources*

- b) The Town may impose, as a condition of any development approvals, the implementation of appropriate measures to ensure the conservation of the Russell Farm complex, and where appropriate, its integration into new development.*
- c) The Town will require a Heritage Impact Assessment (HIA), also known as a Cultural Heritage Impact Statement (CHIS) be prepared in accordance with Section F5.1.2 of this Plan to establish appropriate conservation plans and/or mitigation measures on how the Russell Farm complex is to be integrated with the design of the Parkette*

The HIA completed by LHC Heritage Planning (March 2025) indicates that the Farmhouse is listed as a non-designated property on the Town's Municipal Heritage Register. Retention of the farmhouse in situ within a new park is preferred. However, in the event a new use and tools for the ongoing maintenance and care of the structure cannot be identified and implemented, relocation of the farmhouse to a new lot in the proposed Draft Plan of Subdivision would be preferred to ensure the continuing use of the building.

Through the review of the relevant policies above, it has been demonstrated that the proposed Draft Plan of Subdivision and implementing Zoning By-Law applications conform with the policies and permitted uses set out in the Southeast Georgetown Secondary Plan.

## **8.0 Conclusion**

Based on the information outlined in this Planning Justification Report and the findings identified in the supporting technical studies and reports, it is our opinion that the proposed Zoning By-law Amendment and Draft Plan of Subdivision are justified and represent good planning for the following reasons:

1. Is consistent with the Provincial Planning Statement, 2024 as the development promotes efficient land use, and environmental protection while supporting growth and economic development. As the proposed development protects natural heritage features and manages environmental impacts through sustainable practices. Additionally, the

development supports a mix of residential land uses and accessible spaces to support community vitality and economic opportunities.

2. It conforms to and promotes the policies of the Halton Region Official Plan, providing for natural heritage protection and achieving the designated greenfield area objectives as the proposal comprises a diverse and compatible mix of residential densities and a compact form that supports sustainable growth.
3. The proposed development conforms to the broader policies of the Town of Halton Hills Official Plan as it contributes to the creation of a complete community with a range of housing options and community infrastructure while integrating and providing opportunities for various modes of transportation.
4. The proposed Zoning By-law Amendment and Draft Plan of Subdivision conform to the Southeast Georgetown Secondary Plan by implementing the Low Density Residential, Medium Density Residential, and Local Commercial Mixed-Use Land Use designations, which encourages a balanced mix of residential uses, and by incorporating key community features such as Parks, Trails, and Stormwater Management infrastructure. These elements fulfill the plan's goals for sustainable, livable, and well-connected neighborhoods. Additionally, the thoughtfully designed street network ensures efficient connectivity and supports active transportation, aligning with both the Secondary Plan and Official Plan's vision for a complete, accessible, and vibrant community.
5. The natural heritage system within the Subject Lands, has been identified and will be protected or enhanced by creating Natural Heritage System Blocks and providing protective buffers.
6. The proposed multimodal transportation network reduces reliance on the personal vehicle and contributes to the development of complete communities.
7. A broad range of housing types are permitted to provide options for future residents.
8. Adequate community services and facilities will be available to serve future residents as outlined in the Secondary Plan.

Respectfully submitted,

**GLEN SCHNARR & ASSOCIATES INC.**

A stylized, handwritten signature in black ink, featuring a large loop at the top and a horizontal line at the bottom.

**Colin Chung, MCIP, RPP  
Managing Partner**

A handwritten signature in black ink, written in a cursive style, reading "Ethan Bohnert".  

---

**Ethan Bohnert, Planner**





FIGURE  
**1**  
**AERIAL CONTEXT**

LEGEND

Subject Lands

PART OF LOTS 11 & 12,  
CONCESSION 11,  
TOWN OF HALTON HILLS  
REGION OF HALTON



SCALE NTS  
MARCH 21, 2025

**GSAI**  
Glen Schnarr & Associates Inc.





FIGURE 2 SURROUNDING CONTEXT

LEGEND

 Subject Lands

PART OF LOTS 11 & 12,  
CONCESSION 11,  
TOWN OF HALTON HILLS  
REGION OF HALTON



SCALE NTS  
MARCH 21, 2025

 **GSAI**  
Glen Schnarr & Associates Inc.



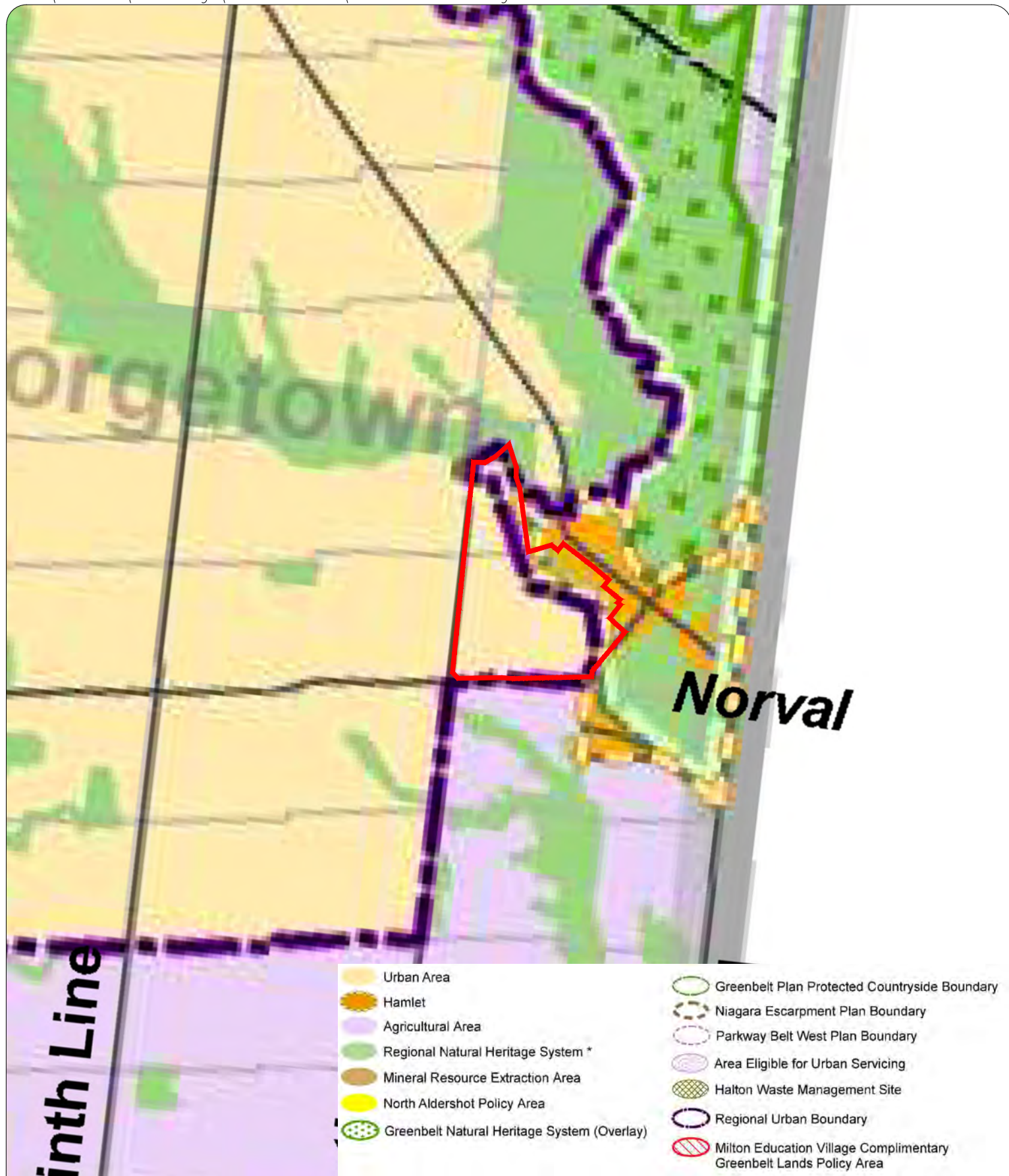


FIGURE 3 **HALTON REGION OFFICIAL PLAN**  
**MAP 1 - REGIONAL STRUCTURE**

**LEGEND**

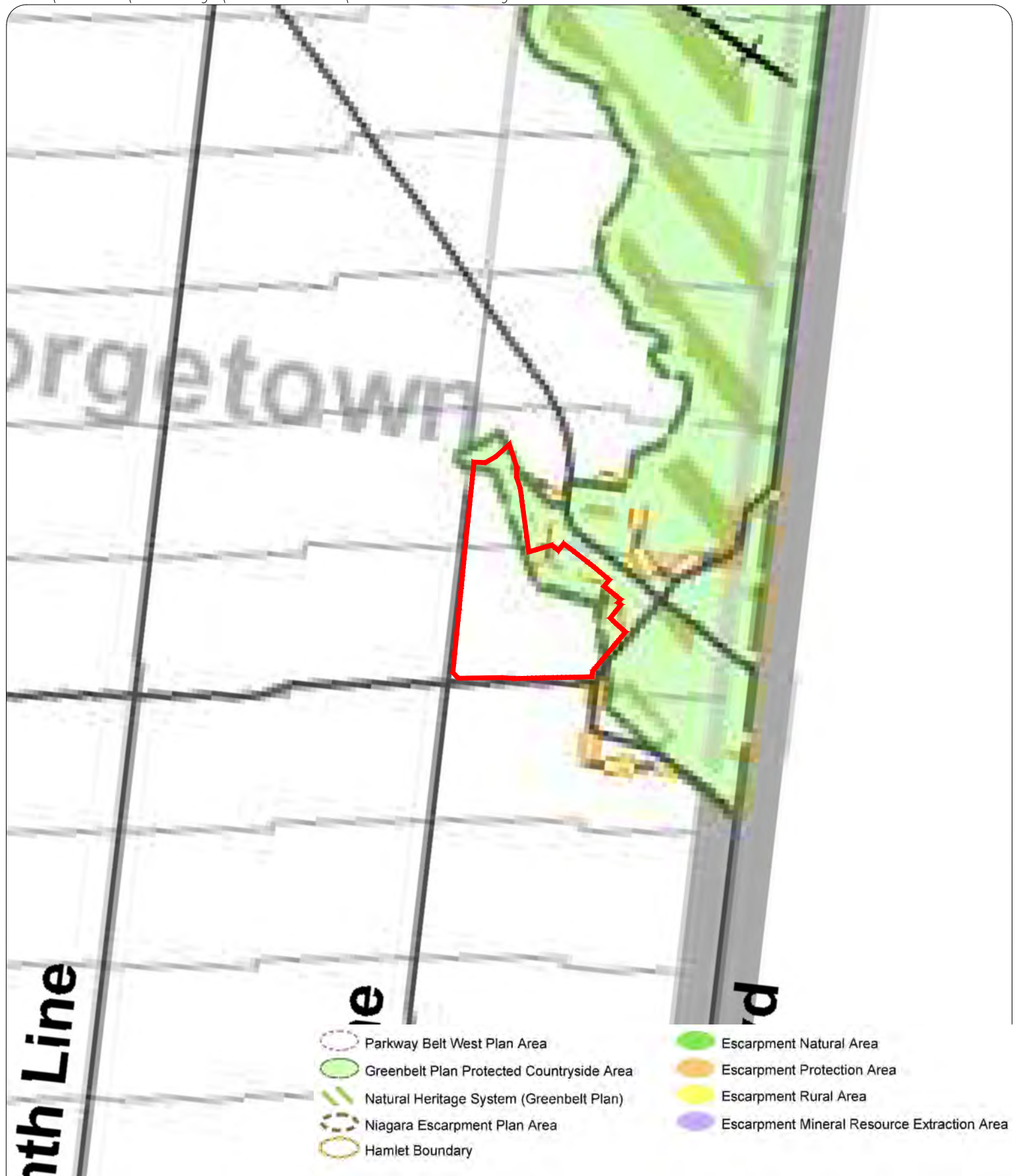
 Subject Lands

PART OF LOTS 11 & 12,  
CONCESSION 11,  
TOWN OF HALTON HILLS  
REGION OF HALTON



SCALE NTS  
MARCH 21, 2025

**GSAI**  
Glen Schnarr & Associates Inc.



FIGURE

4

## HALTON REGION OFFICIAL PLAN

MAP 1A - PROVINCIAL PLAN AREAS & LAND USE DESIGNATIONS

### LEGEND

Subject Lands

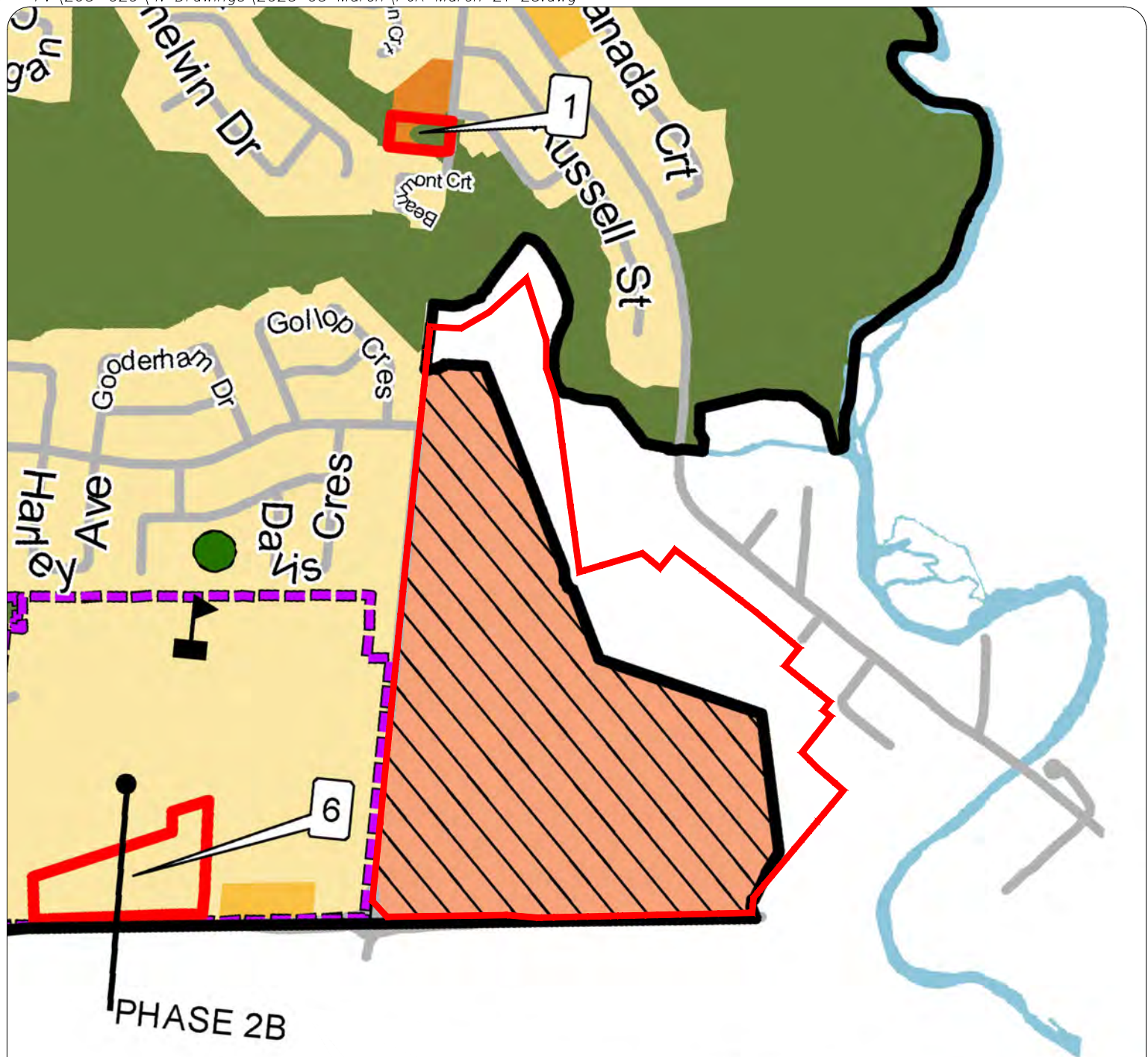
PART OF LOTS 11 & 12,  
CONCESSION 11,  
TOWN OF HALTON HILLS  
REGION OF HALTON



SCALE NTS  
MARCH 21, 2025

**GSAI**  
Glen Schnarr & Associates Inc.





Environmental & Open Space Areas

- Greenlands
- Major Parks and Open Space Area
- Private Open Space Area

Urban Areas

- Low Density Residential Area
- Medium Density Residential Area
- High Density Residential Area
- Secondary Node Area
- Corridor Commercial Area

- Civic Centre Area
- Major Institutional Area
- General Employment Area
- Trafalgar Road Redevelopment Area
- Future Residential/Mixed Use Area
- Downtown Area (See Schedule H7-1 Downtown Georgetown Land Use Plan)
- Community Node Area (See Schedule A5)
- GO Station Area (See Schedule H3-2)
- Vision Georgetown Area - See Section H6

FIGURE

5

# HALTON HILLS OFFICIAL PLAN

MAP A3 - GEORGETOWN URBAN AREA LAND USE PLAN

LEGEND

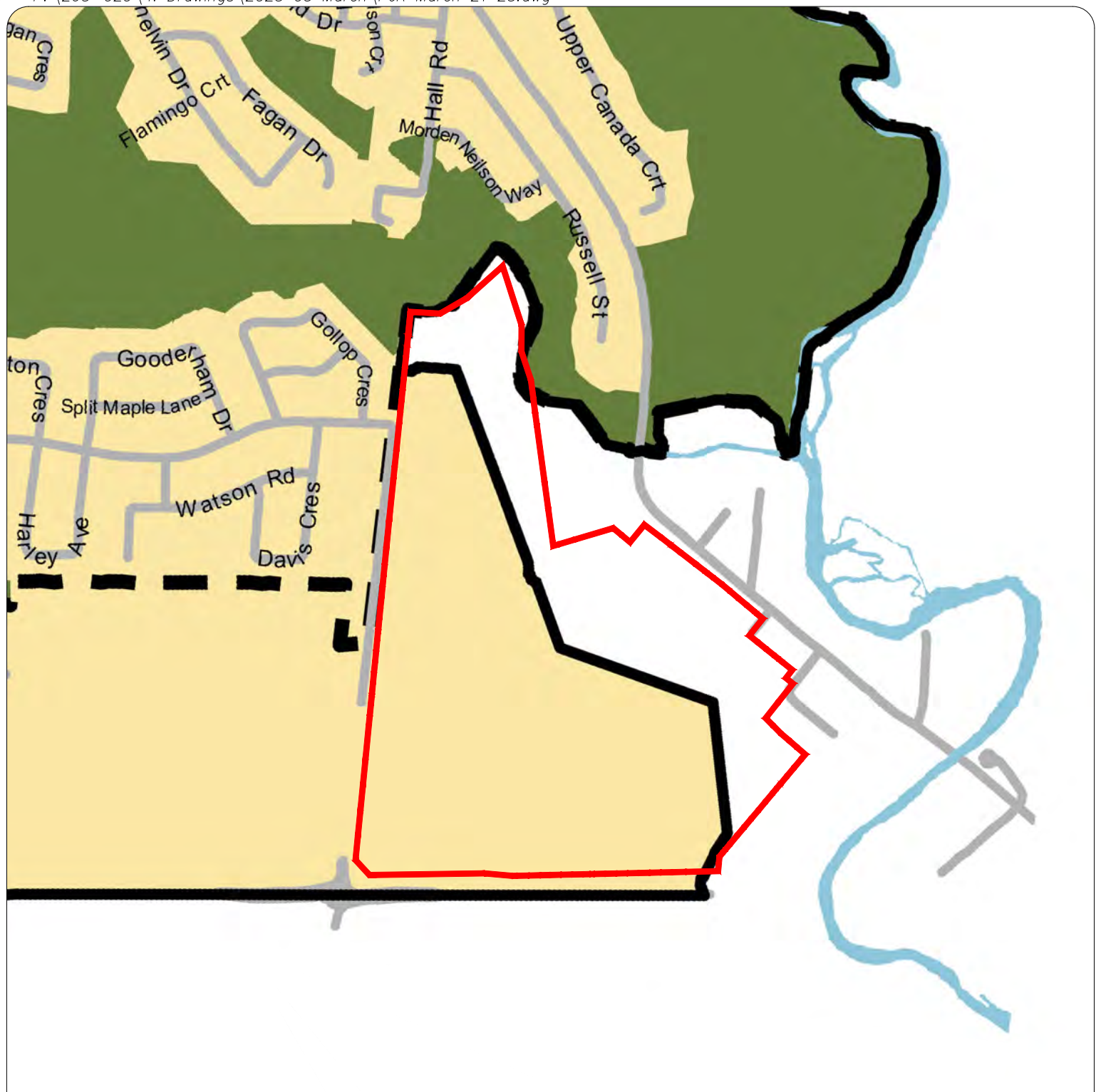
Subject Lands

PART OF LOTS 11 & 12,  
CONCESSION 11,  
TOWN OF HALTON HILLS  
REGION OF HALTON



SCALE NTS  
MARCH 21, 2025

**GSAI**  
Glen Schnarr & Associates Inc.



Environmental & Open Space Areas  
Greenlands

Urban Areas  
Urban Area  
Downtown Area  
Community Node Area  
GO Station Area

Civic Centre District  
Built Boundary  
Vision Georgetown Area - See Section H5  
Activity Node

FIGURE

6

## HALTON HILLS OFFICIAL PLAN

MAP A3-1 - GEORGETOWN BUILT BOUNDARY & INTENSIFICATION AREAS

### LEGEND

Subject Lands

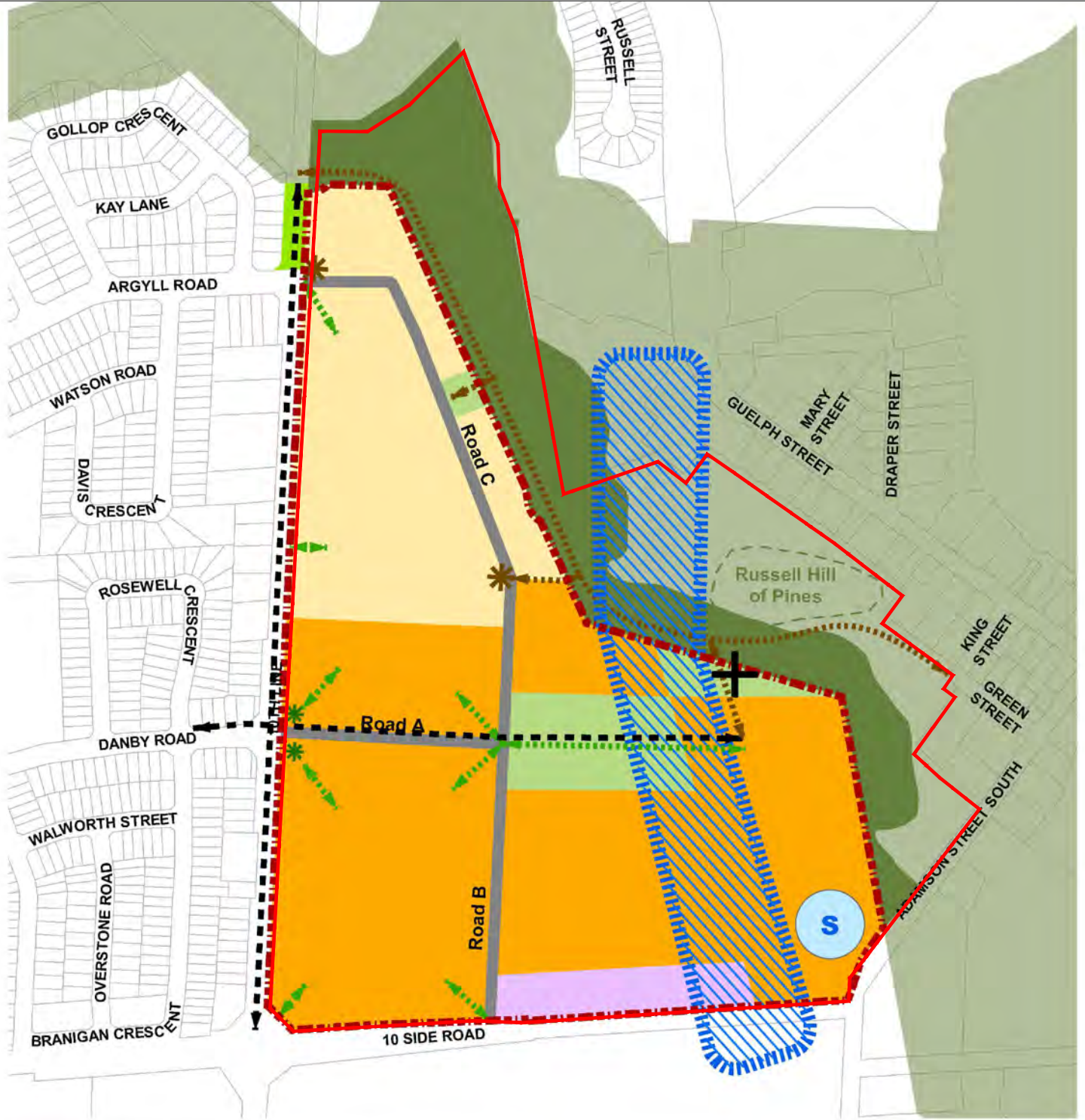
PART OF LOTS 11 & 12,  
CONCESSION 11,  
TOWN OF HALTON HILLS  
REGION OF HALTON



SCALE NTS  
MARCH 21, 2025

**GSAI**  
Glen Schnarr & Associates Inc.





- |                             |                       |            |                                   |                      |
|-----------------------------|-----------------------|------------|-----------------------------------|----------------------|
| Study Area / Urban Boundary | Stormwater Pond       | Park       | Trailhead                         | Russell Farm Complex |
| Local Commercial            | Collector Road        | Open Space | Gateway                           |                      |
| Medium Density Residential  | Multi-Use Path        | Greenbelt  | Proposed Norval West Bypass Route |                      |
| Low Density Residential     | Trails                |            |                                   |                      |
|                             | Pedestrian Connection |            |                                   |                      |

FIGURE 7 **SOUTHEAST GEORGETOWN SECONDARY PLAN**  
**SCHEDULE H9-1 - LAND USE PLAN**

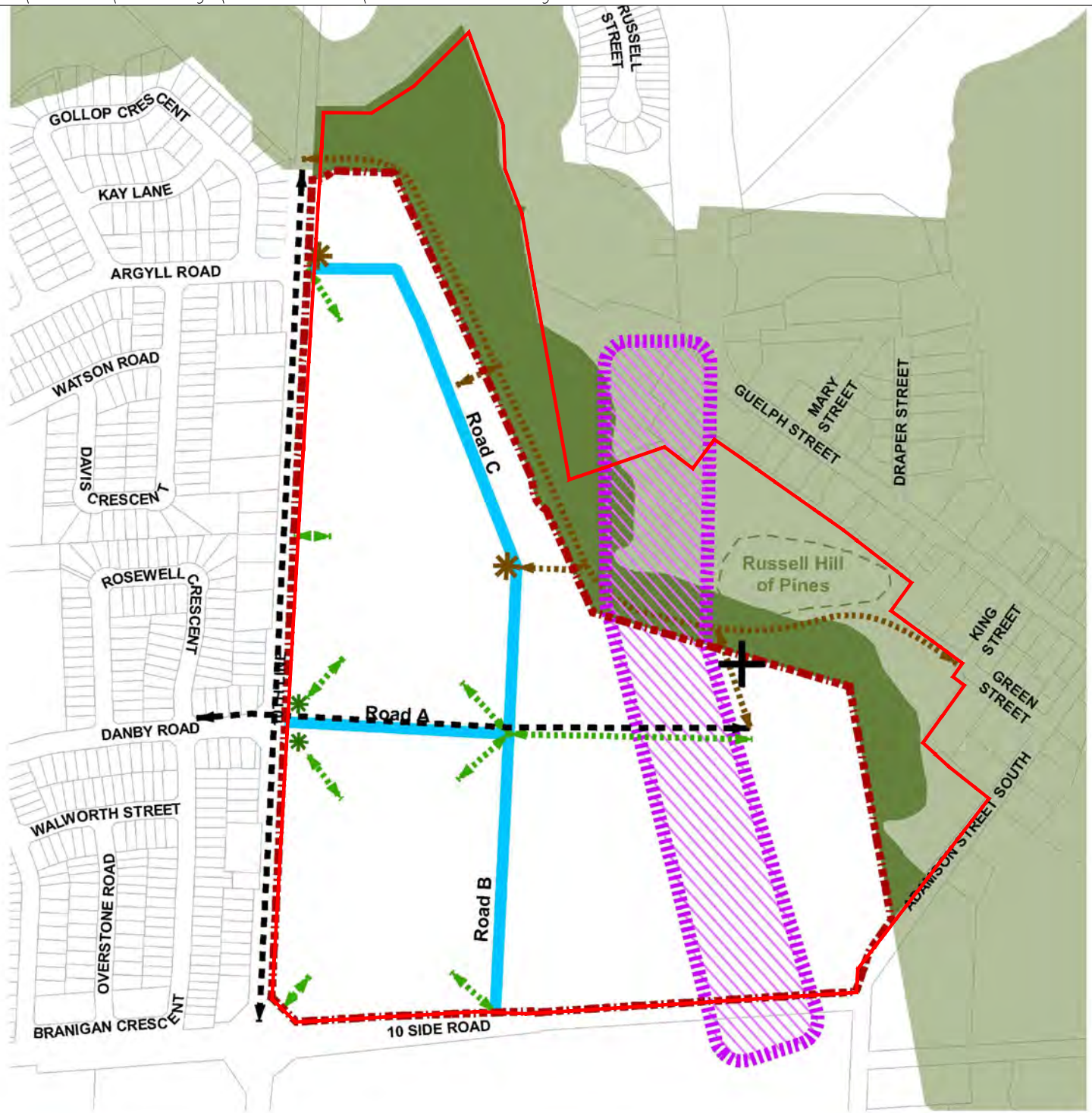
**LEGEND**

Subject Lands

PART OF LOTS 11 & 12,  
CONCESSION 11,  
TOWN OF HALTON HILLS  
REGION OF HALTON



SCALE NTS  
MARCH 21, 2025




- |  |   |   |
|--|---|---|
|  Study Area / Urban Boundary                                |  Multi-Use Path        |  Trailhead |
|  Major Collector Road (26 metres ROW)                       |  Trails                |  Gateway   |
|  Proposed Norval West Bypass Route Corridor Protection Area |  Pedestrian Connection |   |

FIGURE  
**8**

**SOUTHEAST GEORGETOWN SECONDARY PLAN**

SCHEDULE H9-2 - TRANSPORTATION AND ACTIVE TRANSPORTATION NETWORK

**LEGEND**

 Subject Lands

PART OF LOTS 11 & 12,  
CONCESSION 11,  
TOWN OF HALTON HILLS  
REGION OF HALTON



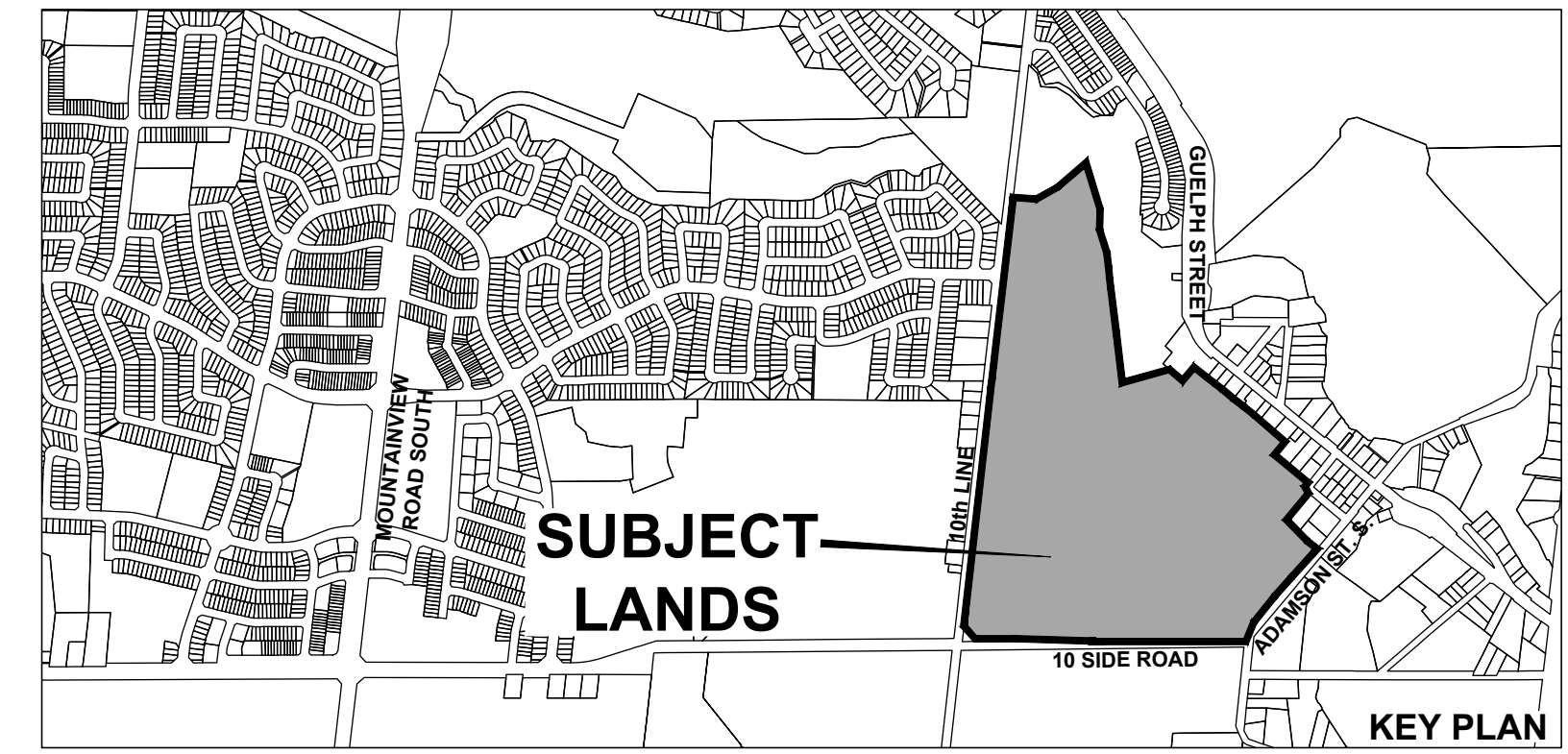
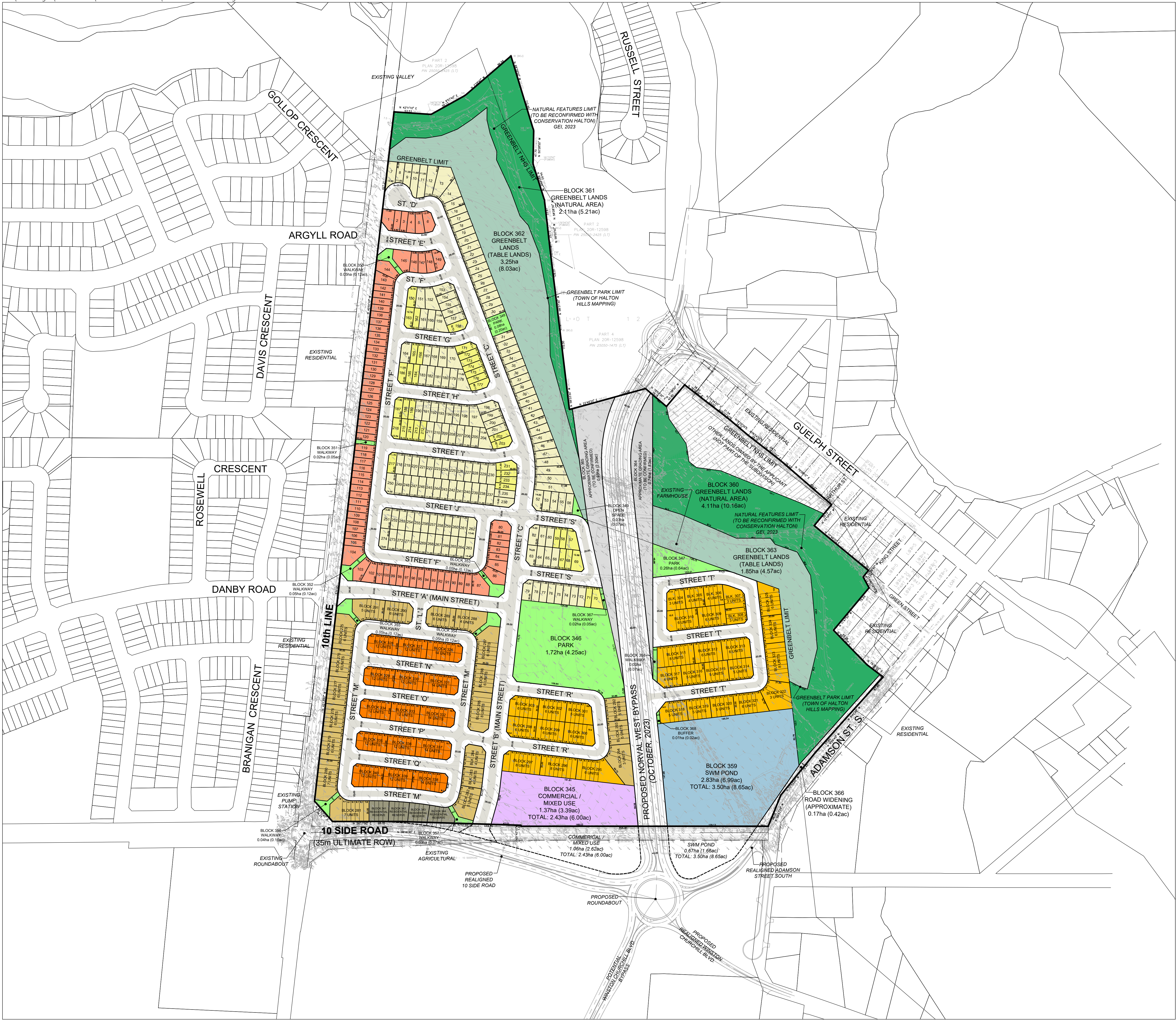
SCALE NTS  
MARCH 21, 2025

**GSAI**  
Glen Schnarr & Associates Inc.

# **Appendix I**

## **Draft Plan of Subdivision**







## DRAFT PLAN OF SUBDIVISION FILE # RUSSELL PINES PROPERTY CORP.

PART OF LOTS 11 & 12, CONCESSION 11,  
(GEOGRAPHIC TOWNSHIP OF ESQUESING)  
FORMERLY THE VILLAGE OF NORVAL, NOW IN THE  
TOWN OF HALTON HILLS  
REGIONAL MUNICIPALITY OF HALTON

**OWNERS CERTIFICATE**  
I HEREBY AUTHORIZE GLEN SCHNARR & ASSOCIATES INC. TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE TOWN OF HALTON HILLS FOR APPROVAL.

SIGNED  DATE NOV. 13, 2024  
JACK EISENBERGER  
RUSSELL PINES PROPERTY CORP.

**SURVEYORS CERTIFICATE**  
I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AS SHOWN ON THIS PLAN AND THEIR RELATIONSHIP TO ADJACENT LANDS ARE CORRECTLY AND ACCURATELY SHOWN.

SIGNED  DATE Nov. 1, 2024  
SUNIL PERERA, O.L.S., O.L.P.  
J.D. BARNES LIMITED  
PROJECT SUPERVISOR  
401 WHEELABRATOR WAY, SUITE A, MILTON  
E: sperera@jdbarnes.com  
T: 905 875 9955

**ADDITIONAL INFORMATION**  
(UNDER SECTION 51(17) OF THE PLANNING ACT) INFORMATION REQUIRED BY CLAUSES A,B,C,D,E,F,G, J & L ARE SHOWN ON THE DRAFT AND KEY PLANS.

H) MUNICIPAL AND PIPED WATER TO BE PROVIDED  
I) SANDY LOAM AND CLAY LOAM  
K) SANITARY AND STORM SEWERS TO BE PROVIDED

LAND USE	LOTS / BLOCKS	AREA (ha)	AREA (ac)	UNITS	DENSITY (UPHA)
DETACHED - 9.15m (30')	1-274	1.21	2.99	39	13.04
DETACHED - 11.00m (36')		5.74	14.18	159	11.21
DETACHED (DUAL FRONTAGE) - 9.80m (32')	275-294	2.57	6.35	76	11.97
DUAL FRONTAGE TOWNHOUSES-6.10m (20')		2.61	6.45	111	17.21
STREET TOWNHOUSES - 6.10m (20')	295-325	3.73	9.22	169	18.34
BACK-TO-BACK TOWNHOUSES	326-340	1.85	4.57	190	41.56
RESIDENTIAL RESERVE	341-344	0.32	0.79		
COMMERCIAL / MIXED USE	345	1.37	3.39		
PARK	346-348	2.06	5.09		
OPEN SPACE / BUFFER	349,368	0.03	0.07		
WALKWAY	350-358,367	0.38	0.94		
SWM POND	359	2.83	6.99		
GREENBELT LANDS	360,361	6.22	15.37		
TABLE LAND GREENBELT	362,363	5.10	12.60		
GRADING AREA	364,365	1.67	4.13		
ROAD WIDENING	366	0.17	0.42		
20.0m LOCAL ROW (4,019m)		8.23	20.34		
23.0m COLLECTOR ROW (212m)		0.50	1.24		
26.0m COLLECTOR ROW (993m)		2.61	6.45		
42.0m NORVAL WEST BYPASS		2.66	6.57		
TOTAL	368	51.86	128.15	744	42.01

**NOTES**  
- LOCAL TO LOCAL DAYLIGHT TRIANGLES = 4.5m x 4.5m  
- LOCAL OR COLLECTOR TO COLLECTOR DAYLIGHT TRIANGLES = 7.0m x 7.0m  
- LOCAL OR COLLECTOR TO ARTERIAL DAYLIGHT TRIANGLES = 15.0m x 15.0m



## **Appendix II**

### **Draft Zoning By-law Amendment**





**BY-LAW NO. 2021-**

A By-law to Amend Zoning By-law 2010-0050, as amended, for lands described as PART OF LOTS 11 & 12, CONCESSION 11, Town of Halton Hills, Regional Municipality of Halton Georgetown

**WHEREAS** Council is empowered to enact this By-law by virtue of the provisions of Section 34 of the Planning Act, R.S.O. 1990, c. P.13, as amended;

**AND WHEREAS** Council has recommended that Zoning By-law 2010-0050 be amended as hereinafter set out;

**AND WHEREAS** said recommendation will conform to the Official Plan for the Town of Halton Hills;

NOW, THEREFORE, BE IT RESOLVED THAT THE COUNCIL OF THE CORPORATION OF THE TOWN OF HALTON HILLS ENACTS AS FOLLOWS:

1. That Schedule "A1" of Zoning By-law 2010-0050, as amended, is hereby further amended by rezoning the lands described as PART OF LOTS 11 & 12, CONCESSION 11, from Agriculture (A) Zone to Low Density Residential 1 – Exception AA (LDR1-AA), Low Density Residential 1 – Exception BB (LDR1-BB), Low Density Residential 1 – Exception CC (LDR1-CC), Medium Density Residential 1 – Exception DD (MDR1-DD), Mixed Use 1 – Exception EE (MU1-EE), Open Space 2 Zone – Exception FF (OS2-FF), and Open Space 3 Zone – Exception GG (OS3 – GG)
2. That Table 13.0: Exceptions is hereby amended by adding the Exception Provisions contained in Schedule "2" attached to and forming part of this By-law.

**BY-LAW** read and passed by the Council for the Town of Halton Hills this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
MAYOR – ANN LAWLOR

\_\_\_\_\_  
CLERK – VALERIE PETRYNIA

## SCHEDULE 2 to By-law 2020-\_\_\_\_\_

Zoning regulations from the parent By-law shown in **Red**

Zoning regulations not in parent By-law (NIP) shown in **Green**

### 13.1 EXCEPTIONS – LDR1-AA

1	Exception Number	AA
2	Zone	Low Density Residential
3	Municipal Address	PART OF LOTS 11 & 12, CONCESSION 11
4	Additional Permitted Uses:	<div>a) Dwelling, Single Detached, subject to LDR1-AA zone regulations</div> <div>b) Dwelling, Single Detached Dual Frontage, subject to LDR1-BB zone regulations</div> <div>c) Dwelling, Single Detached, subject to LDR1-CC zone regulations</div> <div>d) Dwelling, Street Townhouse, subject to MDR1-DD zone regulations</div> <div>e) Dwelling, Dual Frontage Townhouse, subject to MDR1-DD zone regulations</div> <div>f) Dwelling, Dual Frontage Back-to-Back Townhouse. Subject to MDR1-DD zone regulations</div> <div>g) Dwelling, Semi Detached</div> <div>h) Dwelling, Multiple</div> <div>i) Dwelling, Apartment</div> <div>j) Dwelling, Duplex</div>
5	Additional Complementary Uses	<div>a) Home Occupations</div> <div>b) Private Home Daycares</div> <div>c) Bed and Breakfast Establishments in single detached dwellings</div> <div>d) Day Nurseries</div> <div>e) Accessory apartments</div> <div>f) Garden suites</div> <div>g) Special needs housing</div> <div>h) Group Homes Type 1</div> <div>i) Second Level Lodging Homes</div> <div>j) Treatment Centers</div>
6	Only Permitted Uses	N/A
7	Uses Prohibited	N/A
8	Special Provisions	
	i)	Notwithstanding anything to the contrary, no non-conformity will be created as a result of any severance of the land for the purpose of mortgaging or conveying to a condominium corporation or any public authority.
	ii)	<div>Minimum Required Rear Yard Setback</div> <div><div>a) Single Detached Dwellings</div><div>7.0 m, one storey may project into the rear yard with a minimum setback of 1.5 m for a maximum of 45% of the dwelling width measured at the rear of the main building. (7.5 m)</div></div> <div><div>b) Street Townhouse Dwellings</div><div>7.0 m (7.5 m)</div></div>
	iii)	<div>Minimum Required Front Yard Setback</div> <div><div>a) Single Detached Dwellings</div><div>2.0 m, 5.5 m to garage (6.0 m/5.5 m)</div></div> <div><div>b) Street Townhouse Dwellings</div><div>2.0 m, 5.5 m to garage (4.5 m/5.5 m)</div></div>
	iv)	<div>Minimum Required Exterior Side Yard</div> <div><div>a) Single Detached Dwellings</div><div>2.0 m (3.0 m)</div></div> <div><div>b) Street Townhouse Dwellings</div><div>2.0 m (3.0 m)</div></div>
	v)	<div>Minimum Required Interior Side Yard</div> <div><div>a) Single Detached Dwellings</div><div>1.0 m &amp; 0.6 m (1.2 m)</div></div> <div><div>b) Street Townhouse Dwellings</div><div>1.2 m (1.2 m)</div></div>
	vi)	<div>Maximum Height</div> <div><div>a) Single Detached Dwellings</div><div>12.5 m or 3 storeys (11 m)</div></div> <div><div>b) Street Townhouse Dwellings</div><div>16.0 m or 4 storeys(11 m)</div></div>
	vii)	Minimum Lot Frontage

		a) Single Detached Dwellings	9.0 m (18.0 m)
		b) Street Townhouse Dwellings	5.00 m (5.5 m)
viii)	<b>Minimum Number of Parking Spaces</b>		
		a) Single Detached Dwellings	2 spaces / unit (2 spaces / unit)
		b) Street Townhouse Dwellings	2 spaces / unit (2 spaces / unit)
		c) Accessory Apartments & Dwelling Units	0 spaces / unit (1 space / unit)
ix)	Minimum Density		20 upnh (NIP)
x)	Maximum Density		60 upnh (NIP)
xi)	Notwithstanding Table 6.3 Lot Coverage Standards for all Dwelling Types shall be 55% (40% for 1 and 1.5 storeys, 35% for 2 and 2.5 storeys)		
xii)	Unless otherwise stated, all Dwellings shall conform to the standards applying to Street Townhouse Dwellings in the Urban Residential (UR) Zone, contained in Table 6.5;		
xiii)	Notwithstanding Section 4.4 a) air conditioners shall be permitted in the front yard for all dwelling units		
xiv)	Air conditioners shall be located a minimum of 0.6 metres (1.0 m) from the front, exterior and interior lot line.		
xv)	Notwithstanding Section 4.6.2 decks and stairs to access a deck shall be permitted no closer than 0.6 metres to the interior, exterior and rear lot line. (3.0 m to rear)		
xvi)	Notwithstanding Section 4.8 a) balconies may encroach into a minimum front yard or exterior side yard up to 1.0 metres (1.5 m) from the front or exterior lot line and are not subject to maximum total projection.		
xvii)	Notwithstanding Section 4.8 c) a bay or box out window may encroach into a required front, rear and exterior side yard for a maximum distance of 1.0 metres, for a width up to 4.0 metres with or without foundation. (NIP)		
xviii)	Notwithstanding Section 4.15 a) 10 (5) model homes shall be permitted.		
xix)	Notwithstanding Section 4.25.2 a porch shall be permitted to encroach no closer than 0.6 metres (1.5 m) to the front exterior and interior side lot lines, the maximum elevation of a porch of 5.0 meters (4.0 m)		
xx)	Notwithstanding Section 4.25.2 b porch shall be permitted to encroach into the required rear yard a distance of 4.5 meters (3.0 m)		
xxi)	Notwithstanding Section 4.32, Table 4.4, a 4.5 metres (7.0 m) sight triangle shall be permitted on local and collector streets.		
xxii)	Notwithstanding Section 5.2.10 a) on a corner lot the parking space may be a length of 5.0 metres (5.5 m) to a daylight triangle.		
xxiii)	Notwithstanding Section 5.2.10 c) and d) obstructions may encroach 0.3 metres into required parking space width and 0.6 metres into required length. (NIP)		
xxiv)	Notwithstanding Section 5.2.14 b) The maximum driveway width is 7.0 metres provided a minimum of 25% (40%) of the front or exterior side yard in which the driveway is located is the site of soft landscaping.		
xxv)	For the purposes of this zone, Table 6.1, Footnote 2 shall not apply.		

## 13.2 EXCEPTIONS – LDR1-BB

1	Exception Number	BB																																														
2	Zone	Low Density Residential																																														
3	Municipal Address	PART OF LOTS 11 & 12, CONCESSION 11																																														
4	Additional Permitted Uses:	<ul style="list-style-type: none"> <li>a) Dwelling, Single Detached Dual Frontage, subject to LDR1-BB zone regulations</li> <li>b) Dwelling, Single Detached, subject to LDR1-AA zone regulations</li> <li>c) Dwelling, Single Detached, subject to LDR1-CC zone regulations</li> <li>d) Dwelling, Street Townhouse, subject to MDR1-DD zone regulations</li> <li>e) Dwelling, Dual Frontage Townhouse, subject to MDR1-DD zone regulations</li> <li>f) Dwelling, Dual Frontage Back-to-Back Townhouse, subject to MDR1-DD zone regulations</li> <li>g) Dwelling, Semi Detached</li> <li>h) Dwelling, Multiple</li> <li>i) Dwelling, Apartment</li> <li>j) Dwelling, Duplex</li> </ul>																																														
5	Additional Complementary Uses	<ul style="list-style-type: none"> <li>a) Home Occupations</li> <li>b) Private Home Daycares</li> <li>c) Bed and Breakfast Establishments in single detached dwellings</li> <li>d) Day Nurseries</li> <li>e) Accessory apartments</li> <li>f) Garden suites</li> <li>g) Special needs housing</li> <li>h) Group Homes Type 1</li> <li>i) Second Level Lodging Homes</li> <li>j) Treatment Centers</li> </ul>																																														
6	Only Permitted Uses	N/A																																														
7	Uses Prohibited	N/A																																														
8	Special Provisions	<table> <tr> <td>i)</td><td colspan="2">Notwithstanding anything to the contrary, no non-conformity will be created as a result of any severance of the land for the purpose of mortgaging or conveying to a condominium corporation or any public authority.</td></tr> <tr> <td rowspan="2">ii)</td><td colspan="2"><b>Minimum Required Rear Yard Setback</b></td></tr> <tr> <td>a) Single Detached Dual Frontage Dwellings</td><td>2.0 m, 5.5 m, garage is in the rear (7.5 m)</td></tr> <tr> <td rowspan="2">iii)</td><td colspan="2"><b>Minimum Required Front Yard Setback</b></td></tr> <tr> <td>a) Single Detached Dual Frontage Dwellings</td><td>2.0 m, N/A, garage is in the rear to garage (6.0 m/5.5 m)</td></tr> <tr> <td rowspan="2">iv)</td><td colspan="2"><b>Minimum Required Exterior Side Yard</b></td></tr> <tr> <td>a) Single Detached Dual Frontage Dwellings</td><td>2.0 m (3.0 m)</td></tr> <tr> <td rowspan="2">v)</td><td colspan="2"><b>Minimum Required Interior Side Yard</b></td></tr> <tr> <td>a) Single Detached Dual Frontage Dwellings</td><td>1.0 m &amp; 0.6 m (1.2 m)</td></tr> <tr> <td rowspan="2">vi)</td><td colspan="2"><b>Maximum Height</b></td></tr> <tr> <td>a) Single Detached Dual Frontage Dwellings</td><td>12.5 m or 3 storeys (11 m)</td></tr> <tr> <td rowspan="2">vii)</td><td colspan="2"><b>Minimum Lot Frontage</b></td></tr> <tr> <td>a) Single Detached Dual Frontage Dwellings</td><td>9.0 m (18.0 m)</td></tr> <tr> <td rowspan="3">viii)</td><td colspan="2"><b>Minimum Number of Parking Spaces</b></td></tr> <tr> <td>a) Single Detached Dual Frontage Dwellings</td><td>2 spaces / unit (2 spaces / unit)</td></tr> <tr> <td>b) Accessory Apartments &amp; Dwelling Units</td><td>0 spaces / unit (1 space / unit)</td></tr> <tr> <td>ix)</td><td colspan="2"><b>Minimum Density</b></td></tr> <tr> <td></td><td></td><td>20 upnh (NIP)</td></tr> </table>	i)	Notwithstanding anything to the contrary, no non-conformity will be created as a result of any severance of the land for the purpose of mortgaging or conveying to a condominium corporation or any public authority.		ii)	<b>Minimum Required Rear Yard Setback</b>		a) Single Detached Dual Frontage Dwellings	2.0 m, 5.5 m, garage is in the rear (7.5 m)	iii)	<b>Minimum Required Front Yard Setback</b>		a) Single Detached Dual Frontage Dwellings	2.0 m, N/A, garage is in the rear to garage (6.0 m/5.5 m)	iv)	<b>Minimum Required Exterior Side Yard</b>		a) Single Detached Dual Frontage Dwellings	2.0 m (3.0 m)	v)	<b>Minimum Required Interior Side Yard</b>		a) Single Detached Dual Frontage Dwellings	1.0 m & 0.6 m (1.2 m)	vi)	<b>Maximum Height</b>		a) Single Detached Dual Frontage Dwellings	12.5 m or 3 storeys (11 m)	vii)	<b>Minimum Lot Frontage</b>		a) Single Detached Dual Frontage Dwellings	9.0 m (18.0 m)	viii)	<b>Minimum Number of Parking Spaces</b>		a) Single Detached Dual Frontage Dwellings	2 spaces / unit (2 spaces / unit)	b) Accessory Apartments & Dwelling Units	0 spaces / unit (1 space / unit)	ix)	<b>Minimum Density</b>				20 upnh (NIP)
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x)	Maximum Density	60 upnh (NIP)
xi)	Notwithstanding Table 6.3 Lot Coverage Standards for all Dwelling Types shall be 65% (40% for 1 and 1.5 storeys, 35% for 2 and 2.5 storeys)	
xii)	Unless otherwise stated, all Dwellings shall conform to the standards applying to Street Townhouse Dwellings in the Urban Residential (UR) Zone, contained in Table 6.5;	
xiii)	Notwithstanding Section 4.4 a) air conditioners shall be permitted in the front yard for all dwelling units	
xiv)	Air conditioners shall be located a minimum of 0.6 m (1 m) from the front, exterior and interior lot line.	
xv)	Notwithstanding Section 4.6.2 decks and stairs to access a deck shall be permitted no closer than 0.6 metres to the interior, exterior and rear lot line. (3.0 m to rear)	
xvi)	Notwithstanding Section 4.8 a) balconies may encroach into a minimum front yard or exterior side yard up to 1.0 m (1.5 m) from the front or exterior lot line and are not subject to maximum total projection.	
xvii)	Notwithstanding Section 4.8 c) a bay or box out window may encroach into a required front, rear and exterior side yard for a maximum distance of 1.0 metres, for a width up to 4.0 metres with or without foundation. (NIP)	
xviii)	Notwithstanding Section 4.15 a) 10 (5) model homes shall be permitted.	
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xxiii)	Notwithstanding Section 5.2.10 c) and d) obstructions may encroach 0.3 metres into required parking space width and 0.6 metres into required length. (NIP)	
xxiv)	Notwithstanding Section 5.2.14 b) The maximum driveway width is 7.0 metres provided a minimum of 25% (40%) of the front or exterior side yard in which the driveway is located is the site of soft landscaping.	
xxv)	For the purposes of this zone, Table 6.1, Footnote 2 shall not apply.	

### 13.3 EXCEPTIONS – LDR1-CC

1	Exception Number	CC																																																									
2	Zone	Low Density Residential																																																									
3	Municipal Address	PART OF LOTS 11 & 12, CONCESSION 11																																																									
4	Additional Permitted Uses:	<ul style="list-style-type: none"> <li>a) Dwelling, Single Detached, subject to LDR1-CC zone regulations</li> <li>b) Dwelling, Single Detached Dual Frontage, subject to LDR1-BB zone regulations</li> <li>c) Dwelling, Single Detached, subject to LDR1-AA zone regulations</li> <li>d) Dwelling, Street Townhouse, subject to MDR1-DD zone regulations</li> <li>e) Dwelling, Dual Frontage Townhouse, subject to MDR1-DD zone regulations</li> <li>f) Dwelling, Dual Frontage Back-to-Back Townhouse, subject to MDR1-DD zone regulations</li> <li>g) Dwelling, Semi Detached</li> <li>h) Dwelling, Multiple</li> <li>i) Dwelling, Apartment</li> <li>j) Dwelling, Duplex</li> </ul>																																																									
5	Additional Complementary Uses	<ul style="list-style-type: none"> <li>a) Home Occupations</li> <li>b) Private Home Daycares</li> <li>c) Bed and Breakfast Establishments in single detached dwellings</li> <li>d) Day Nurseries</li> <li>e) Accessory apartments</li> <li>f) Garden suites</li> <li>g) Special needs housing</li> <li>h) Group Homes Type 1</li> <li>i) Second Level Lodging Homes</li> <li>j) Treatment Centers</li> </ul>																																																									
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8	Special Provisions	<table> <tr> <td>i)</td><td colspan="2">Notwithstanding anything to the contrary, no non-conformity will be created as a result of any severance of the land for the purpose of mortgaging or conveying to a condominium corporation or any public authority.</td></tr> <tr> <td>ii)</td><td colspan="2"><b>Minimum Required Rear Yard Setback</b></td></tr> <tr> <td></td><td>a) Single Detached Dwellings</td><td>7.0 m, one storey may project into the rear yard with a minimum setback of 1.5 m for a maximum of 45% of the dwelling width measured at the rear of the main building. (7.5 m)</td></tr> <tr> <td>iii)</td><td colspan="2"><b>Minimum Required Front Yard Setback</b></td></tr> <tr> <td></td><td>a) Single Detached Dwellings</td><td>2.0 m, 5.5 m to garage (6.0 m/5.5 m)</td></tr> <tr> <td>iv)</td><td colspan="2"><b>Minimum Required Exterior Side Yard</b></td></tr> <tr> <td></td><td>a) Single Detached Dwellings</td><td>2.0 m (3.0 m)</td></tr> <tr> <td>v)</td><td colspan="2"><b>Minimum Required Interior Side Yard</b></td></tr> <tr> <td></td><td>a) Single Detached Dwellings</td><td>1.0 m &amp; 0.6 m (1.2 m)</td></tr> <tr> <td>vi)</td><td colspan="2"><b>Maximum Height</b></td></tr> <tr> <td></td><td>a) Single Detached Dwellings</td><td>12.5 m or 3 storeys (11 m)</td></tr> <tr> <td>vii)</td><td colspan="2"><b>Minimum Lot Frontage</b></td></tr> <tr> <td></td><td>a) Single Detached Dwellings</td><td>10.50 m (18.0 m)</td></tr> <tr> <td>viii)</td><td colspan="2"><b>Minimum Number of Parking Spaces</b></td></tr> <tr> <td></td><td>a) Street Townhouse Dwellings</td><td>2 spaces / unit (2 spaces / unit)</td></tr> <tr> <td></td><td>b) Accessory Apartments &amp; Dwelling Units</td><td>0 spaces / unit (1 space / unit)</td></tr> <tr> <td>ix)</td><td>Minimum Density</td><td>20 upnh (NIP)</td></tr> <tr> <td>x)</td><td>Maximum Density</td><td>60 upnh (NIP)</td></tr> <tr> <td>xi)</td><td colspan="2">Notwithstanding Table 6.3 Lot Coverage Standards for all Dwelling Types shall be 55% (40% for 1 and 1.5 storeys, 35% for 2 and 2.5 storeys)</td></tr> </table>	i)	Notwithstanding anything to the contrary, no non-conformity will be created as a result of any severance of the land for the purpose of mortgaging or conveying to a condominium corporation or any public authority.		ii)	<b>Minimum Required Rear Yard Setback</b>			a) Single Detached Dwellings	7.0 m, one storey may project into the rear yard with a minimum setback of 1.5 m for a maximum of 45% of the dwelling width measured at the rear of the main building. (7.5 m)	iii)	<b>Minimum Required Front Yard Setback</b>			a) Single Detached Dwellings	2.0 m, 5.5 m to garage (6.0 m/5.5 m)	iv)	<b>Minimum Required Exterior Side Yard</b>			a) Single Detached Dwellings	2.0 m (3.0 m)	v)	<b>Minimum Required Interior Side Yard</b>			a) Single Detached Dwellings	1.0 m & 0.6 m (1.2 m)	vi)	<b>Maximum Height</b>			a) Single Detached Dwellings	12.5 m or 3 storeys (11 m)	vii)	<b>Minimum Lot Frontage</b>			a) Single Detached Dwellings	10.50 m (18.0 m)	viii)	<b>Minimum Number of Parking Spaces</b>			a) Street Townhouse Dwellings	2 spaces / unit (2 spaces / unit)		b) Accessory Apartments & Dwelling Units	0 spaces / unit (1 space / unit)	ix)	Minimum Density	20 upnh (NIP)	x)	Maximum Density	60 upnh (NIP)	xi)	Notwithstanding Table 6.3 Lot Coverage Standards for all Dwelling Types shall be 55% (40% for 1 and 1.5 storeys, 35% for 2 and 2.5 storeys)	
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xi)	Notwithstanding Table 6.3 Lot Coverage Standards for all Dwelling Types shall be 55% (40% for 1 and 1.5 storeys, 35% for 2 and 2.5 storeys)																																																										

xii)	Unless otherwise stated, all Dwellings shall conform to the standards applying to Street Townhouse Dwellings in the Urban Residential (UR) Zone, contained in Table 6.5;
xiii)	Notwithstanding Section 4.4 a) air conditioners shall be permitted in the front yard for all dwelling units
xiv)	Air conditioners shall be located a minimum of 0.6 metres (1.0 m) from the front, exterior and interior lot line.
xv)	Notwithstanding Section 4.6.2 decks and stairs to access a deck shall be permitted no closer than 0.6 metres to the interior, exterior and rear lot line. (3.0 m to rear)
xvi)	Notwithstanding Section 4.8 a) balconies may encroach into a minimum front yard or exterior side yard up to 1.0 metres (1.5 m) from the front or exterior lot line and are not subject to maximum total projection.
xvii)	Notwithstanding Section 4.8 c) a bay or box out window may encroach into a required front, rear and exterior side yard for a maximum distance of 1.0 metres, for a width up to 4.0 metres with or without foundation. (NIP)
xviii)	Notwithstanding Section 4.15 a) 10 (5) model homes shall be permitted.
xix)	Notwithstanding Section 4.25.2 a porch shall be permitted to encroach no closer than 0.6 metres (1.5 m) to the front exterior and interior side lot lines, the maximum elevation of a porch of 5.0 meters (4.0 m)
xx)	Notwithstanding Section 4.25.2 b porch shall be permitted to encroach into the required rear yard a distance of 4.5 meters (3.0 m)
xxi)	Notwithstanding Section 4.32, Table 4.4, a 4.5 metres (7.0 m) sight triangle shall be permitted on local and collector streets.
xxii)	Notwithstanding Section 5.2.10 a) on a corner lot the parking space may be a length of 5.0 metres (5.5 m) to a daylight triangle.
xxiii)	Notwithstanding Section 5.2.10 c) and d) obstructions may encroach 0.3 metres into required parking space width and 0.6 metres into required length. (NIP)
xxiv)	Notwithstanding Section 5.2.14 b) The maximum driveway width is 7.0 metres provided a minimum of 25% (40%) of the front or exterior side yard in which the driveway is located is the site of soft landscaping.
xxv)	For the purposes of this zone, Table 6.1, Footnote 2 shall not apply.



## 13.4 EXCEPTIONS – MDR1-DD

1	Exception Number	DD																																																									
2	Zone	MDR1 - Medium Density Residential																																																									
3	Municipal Address	PART OF LOTS 11 & 12, CONCESSION 11																																																									
4	Additional Permitted Uses:	<ul style="list-style-type: none"> <li>a) Dwelling, Dual Frontage Townhouse, subject to MDR1-DD zone regulations</li> <li>b) Dwelling, Street Townhouse, subject to MDR1-DD zone regulations</li> <li>c) Dwelling, Back-to-Back Townhouse. subject to MDR1-DD zone regulations</li> <li>d) Dwelling, Single Detached, subject to LDR1-AA zone regulations</li> <li>e) Dwelling, Single Detached Dual Frontage, subject to LDR1-BB zone regulations</li> <li>f) Dwelling, Single Detached, subject to LDR1-CC zone regulations</li> <li>g) Dwelling, Triplex</li> <li>h) Dwelling, Apartment</li> <li>i) Dwelling, Stacked Townhouse</li> </ul>																																																									
5	Additional Complementary Uses	<ul style="list-style-type: none"> <li>a) Home Occupations</li> <li>b) Bed and Breakfast Establishments in single detached dwellings</li> <li>c) Accessory apartments</li> <li>d) Garden suites</li> <li>e) Special needs housing</li> <li>f) Long term care and retirement facilities,</li> <li>g) Private home daycares</li> <li>h) Live/work units which may include residential or non-residential uses in the first storey.</li> </ul>																																																									
6	Definitions	<ul style="list-style-type: none"> <li>a) Dwelling, Back-to-Back Townhouse – <i>A building where each unit is divided vertically by common walls, including a common rear wall, and has an independent entrance to the unit from the outside accessed through the front yard or exterior side yard.</i></li> <li>b) Dwelling, Dual Frontage Townhouse - <i>A townhouse dwelling which is fronting a public street with a pedestrian access only and have a driveway access from the rear yard.</i></li> <li>c) Dwelling, Stacked Townhouse – <i>A three or four-storey building divided horizontally and vertically by common walls with more than 5 dwelling units and each unit having an individual entrance directly from the outside and no common corridor. Stacked townhouses may have a common rear wall.</i></li> </ul>																																																									
7	Only Permitted Uses	N/A																																																									
8	Uses Prohibited	N/A																																																									
9	Special Provisions	<table> <tr> <td>i)</td><td colspan="2">Notwithstanding anything to the contrary, no non-conformity will be created as a result of any severance of the land for the purpose of mortgaging or conveying to a condominium corporation or any public authority.</td></tr> <tr> <td>ii)</td><td colspan="2"><b>Minimum Required Rear Yard Setback</b></td></tr> <tr> <td></td><td>a) Dwelling, Dual Frontage Townhouse</td><td>2.0 m, 5.5 m to garage (7.5 m)</td></tr> <tr> <td>iii)</td><td>b) Dwelling, Street Townhouse,</td><td>6.0 m (7.5 m)</td></tr> <tr> <td>iv)</td><td>c) Dwelling, Back-to-Back Townhouse</td><td>0.0 m (NIP)</td></tr> <tr> <td>v)</td><td colspan="2"><b>Minimum Required Front Yard Setback</b></td></tr> <tr> <td></td><td>a) Dwelling, Dual Frontage Townhouse</td><td>2.0 m (4.5 m)</td></tr> <tr> <td>vi)</td><td>b) Dwelling, Street Townhouse,</td><td>2.0 m, 5.5 m to garage (7.5 m)</td></tr> <tr> <td>vii)</td><td>c) Dwelling, Back-to-Back Townhouse</td><td>2.0 m, 5.5 m to garage (NIP)</td></tr> <tr> <td>viii)</td><td colspan="2"><b>Minimum Required Exterior Side Yard</b></td></tr> <tr> <td></td><td>a) Dwelling, Dual Frontage Townhouse</td><td>2.0 m (3.0 m)</td></tr> <tr> <td>ix)</td><td>b) Dwelling, Street Townhouse,</td><td>2.0 m (7.5 m)</td></tr> <tr> <td>x)</td><td>c) Dwelling, Back-to-Back Townhouse</td><td>2.0 m (NIP)</td></tr> <tr> <td>xi)</td><td colspan="2"><b>Minimum Required Interior Side Yard</b></td></tr> <tr> <td></td><td>a) Dwelling, Dual Frontage Townhouse</td><td>1.0 m (1.2 m)</td></tr> <tr> <td>xii)</td><td>b) Dwelling, Street Townhouse,</td><td>1.0 m (7.5 m)</td></tr> <tr> <td>xiii)</td><td>c) Dwelling, Back-to-Back Townhouse</td><td>1.0 m (NIP)</td></tr> <tr> <td>xiv)</td><td colspan="2"><b>Maximum Height</b></td></tr> <tr> <td></td><td>a) Dwelling, Dual Frontage Townhouse</td><td>3 storeys or 12.5 m (11.0 m)</td></tr> </table>	i)	Notwithstanding anything to the contrary, no non-conformity will be created as a result of any severance of the land for the purpose of mortgaging or conveying to a condominium corporation or any public authority.		ii)	<b>Minimum Required Rear Yard Setback</b>			a) Dwelling, Dual Frontage Townhouse	2.0 m, 5.5 m to garage (7.5 m)	iii)	b) Dwelling, Street Townhouse,	6.0 m (7.5 m)	iv)	c) Dwelling, Back-to-Back Townhouse	0.0 m (NIP)	v)	<b>Minimum Required Front Yard Setback</b>			a) Dwelling, Dual Frontage Townhouse	2.0 m (4.5 m)	vi)	b) Dwelling, Street Townhouse,	2.0 m, 5.5 m to garage (7.5 m)	vii)	c) Dwelling, Back-to-Back Townhouse	2.0 m, 5.5 m to garage (NIP)	viii)	<b>Minimum Required Exterior Side Yard</b>			a) Dwelling, Dual Frontage Townhouse	2.0 m (3.0 m)	ix)	b) Dwelling, Street Townhouse,	2.0 m (7.5 m)	x)	c) Dwelling, Back-to-Back Townhouse	2.0 m (NIP)	xi)	<b>Minimum Required Interior Side Yard</b>			a) Dwelling, Dual Frontage Townhouse	1.0 m (1.2 m)	xii)	b) Dwelling, Street Townhouse,	1.0 m (7.5 m)	xiii)	c) Dwelling, Back-to-Back Townhouse	1.0 m (NIP)	xiv)	<b>Maximum Height</b>			a) Dwelling, Dual Frontage Townhouse	3 storeys or 12.5 m (11.0 m)
i)	Notwithstanding anything to the contrary, no non-conformity will be created as a result of any severance of the land for the purpose of mortgaging or conveying to a condominium corporation or any public authority.																																																										
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xiv)	<b>Maximum Height</b>																																																										
	a) Dwelling, Dual Frontage Townhouse	3 storeys or 12.5 m (11.0 m)																																																									

xv)	b) Dwelling, Street Townhouse,	3 storeys or 12.5 m (7.5 m)
xvi)	c) Dwelling, Back-to-Back Townhouse	3 storeys or 12.5 m (NIP)
xvii)	<b>Minimum Lot Frontage</b>	
	a) Dwelling, Dual Frontage Townhouse	5.0 m (5.5 m)
xviii)	b) Dwelling, Street Townhouse,	5.0 m (5.5 m)
xix)	c) Dwelling, Back-to-Back Townhouse	5.0 m (NIP)
xx)	<b>Minimum Number of Parking Spaces</b>	
	a) Dwelling, Dual Frontage Townhouse	2 spaces / unit (2 spaces / unit)
	b) Dwelling, Street Townhouse,	2 spaces / unit (2 spaces / unit)
	c) Dwelling, Back-to-Back Townhouse	2 spaces / unit (NIP)
	d) Accessory Apartments & Dwelling Units	0 spaces / unit (1 space / unit)
xxi)	Minimum Density	24 upnh (NIP)
xxii)	Maximum Density	80 upnh (NIP)
xxiii)	Lot Coverage Standards for all Dwelling Types shall be 80% (NIP)	
xxiv)	Notwithstanding Table 6.3 Lot Coverage Standards for all Dwelling Types shall be 80 % (NIP)	
xxv)	Unless otherwise stated, all Dwellings shall conform to the standards applying to Street Townhouse Dwellings in the Urban Residential (UR) Zone, contained in Table 6.5;	
xxvi)	Unless otherwise stated, all Back-to-Back Townhouse Dwellings, Dual Frontage Townhouse Dwellings and Street Townhouse Dwellings shall conform to the standards applying to Street Townhouse Dwellings in the Medium Density Residential 1 (MDR1) Zone, contained in Table 6.4;	
xxvii)	Notwithstanding Section 4.4 a) air conditioners shall be permitted in the front yard for all dwelling units	
xxviii)	Air conditioners shall be located a minimum of 0.6 m (1.0) from the front, exterior and interior lot line.	
xxix)	Notwithstanding Section 4.6.2 decks and stairs to access a deck shall be permitted no closer than 0.6 metres to the interior, exterior and rear lot line. (3 m to rear)	
xxx)	Notwithstanding Section 4.8 a) balconies may encroach into a minimum front yard or exterior side yard up to 1.0 metres (1.5 m) from the front or exterior lot line and are not subject to maximum total projection.	
xxxi)	Notwithstanding Section 4.8 a) balconies may project into all yards and shall be permitted 0.0 metres to a lot line. (1.5 m)	
xxxii)	Notwithstanding Section 4.8 c) a bay or box out window may encroach into a required front, rear and exterior side yard for a maximum distance of 1.0 metres, for a width up to 4.0 metres with or without foundation. (NIP)	
xxxiii)	Notwithstanding Section 4.15 a) 10 (5) model homes shall be permitted.	
xxxiv)	Notwithstanding Section 4.25.2 a porch shall be permitted to encroach no closer than 0.6 metres (1.5 m) to the front exterior and interior side lot lines, the maximum elevation of a porch of 5.0 meters (4.0 m)	
xxxv)	Notwithstanding Section 4.25.2 b porch shall be permitted to encroach into the required rear yard a distance of 4.5 meters (3.0 m)	
xxxvi)	Notwithstanding Section 4.32, Table 4.4, a 4.5 metres (7.0 m) sight triangle shall be permitted on local and collector streets.	
xxxvii)	Notwithstanding Section 5.2.10 a) on a corner lot the parking space may be a length of 5.0 metres (5.5 m) to a daylight triangle.	
xxxviii)	Notwithstanding Section 5.2.10 c) and d) obstructions may encroach 0.3 metres into required parking space width and 0.6 metres into required length. (NIP)	
xxxix)	Notwithstanding Section 5.2.14 b) The maximum driveway width is 7.0 metres provided a minimum of 25% (40%) of the front or exterior side yard in which the driveway is located is the site of soft landscaping.	
xl)	Notwithstanding Section 5.2.14 a) the minimum driveway width shall be 3.0 metres (3.0 m)	
xli)	In the MDR1-DD Zone, Regulation 5.2.14(b) shall not apply. In its place, the following regulation shall apply: The maximum driveway width is 7.0 metres provided a minimum of 25% (40%) of the front or exterior side yard in which the driveway is located is the site of soft landscaping.	
xl ii)	For the purposes of this zone, Table 6.1, Footnote 2 shall not apply.	

## 13.5 EXCEPTIONS – MUI-EE

1	Exception Number	EE	
2	Zone	MUI (Local Commercial Mixed Use Area)	
3	Municipal Address	PART OF LOTS 11 & 12, CONCESSION 11	
4	Additional Permitted Uses:	<div>a) Dwelling, Apartment; subject to MUI- EE zone regulations;</div> <div>b) Long term care facilities and retirement homes; subject to MUI- EE zone regulations;</div> <div>c) Mixed Use Buildings; subject to MUI- EE zone regulations;</div> <div>d) Dwelling, Dual Frontage Townhouse, subject to MDR1-DD zone regulations</div> <div>e) Dwelling, Street Townhouse, subject to MDR1-DD zone regulations</div> <div>f) Dwelling, Back-to-Back Townhouse. subject to MDR1-DD zone regulations</div> <div>g) Dwelling, Single Detached, subject to LDR1-AA zone regulations</div> <div>h) Dwelling, Single Detached Dual Frontage, subject to LDR1-BB zone regulations</div> <div>i) Dwelling, Single Detached, subject to LDR1-CC zone regulations</div> <div>j) Dwelling, Stacked Townhouse</div> <div>k) Dwelling, Duplex,</div> <div>l) Dwelling, Triplex,</div> <div>m) Day Nursery, Places of Worship, Retail Store, Retail Service Commercial Uses, Business Office, Restaurant, Restaurant Take-Out</div> <div>n) Commercial fitness centres;</div> <div>o) Financial institutions and services;</div> <div>p) Office uses including medical offices;</div> <div>q) Places of entertainment;</div> <div>r) Private and commercial schools;</div> <div>s) Public service uses and other institutional uses;</div> <div>t) Specialty food stores;</div> <div>u) Supermarkets, pharmacies and grocery stores;</div> <div>v) Open Air Famers Market;</div> <div>w) Community Centre;</div> <div>x) Child care centres;</div> <div>y) Emergency Service Facility;</div> <div>z) Library;</div> <div>aa) Museum;</div> <div>bb) Office Supply Store;</div> <div>cc) Public Use;</div> <div>dd) School, Private;</div> <div>ee) School, Public;</div> <div>ff) Retirement Homes</div> <div>gg) Retail Stores</div> <div>hh) Restaurants, Restaurants take-out</div> <div>ii) Service Commercial</div>	
5	Additional Complementary Uses	<div>a) Home Occupations</div> <div>b) Accessory apartments</div> <div>c) Special needs housing</div>	
6	Definitions	<div>a) Dwelling, Back-to-Back Townhouse – <i>A building where each unit is divided vertically by common walls, including a common rear wall, and has an independent entrance to the unit from the outside accessed through the front yard or exterior side yard.</i></div> <div>b) Dwelling, Dual Frontage Townhouse - <i>A townhouse dwelling which is fronting a public street with a pedestrian access only and have a driveway access from the rear yard.</i></div> <div>c) Mixed Use Buildings - <i>A building which contains a combination of permitted nonresidential uses and residential dwelling units.</i></div> <div>d) Dwelling, Stacked Townhouse – <i>A three or four-storey building divided horizontally and vertically by common walls with more than 5 dwelling units and each unit having an individual entrance directly from the outside and no common corridor. Stacked townhouses may have a common rear wall.</i></div>	
7	Only Permitted Uses	N/A	
8	Uses Prohibited	N/A	
9	Special Provisions		
	i)	Notwithstanding anything to the contrary, no non-conformity will be created as a result of any severance of the land for the purpose of mortgaging or conveying to a condominium corporation or any public authority.	
	ii)	Minimum Required Front Yard	0.0 m (4.5 m)
	iii)	Minimum Required Rear Yard	0.0 m (7.5 m)

iv)	Minimum Required Interior Side Yard	0.0 m (3.0 m)
v)	Minimum Required Exterior Side Yard	0.0 m (6.0 m)
vi)	Maximum Height	8 Storeys, (NIP)
vii)	Minimum Density	60 upnh(NIP)
viii)	Maximum Density	150 upnh (NIP)
ix)	Minimum setback of a parking garage	0 m (NIP)
x)	Notwithstanding Section 5.2.11, minimum width of parking aisle	6 m (6.7 m)
xi)	Notwithstanding Section 5.5.2, minimum required loading spaces	1 space (increases based on GFA)
xii)	Minimum number of parking spaces – Apartment Dwelling and Multiple Dwelling Units	0.90 spaces / unit (1.5 spaces / unit)
xiii)	Minimum number of visitor parking spaces – apartment dwellings and multiple dwellings.	0.20 spaces / unit (0.25 spaces / unit)
xiv)	Accessory Apartments & Dwelling Units	0 spaces / unit (1 space / unit)
xv)	Maximum number of combined visitor and resident parking spaces – Long Term Care Facilities and Retirement Homes	0.5 spaces / unit (0.5 spaces / bed)
xvi)	Minimum non-residential parking requirement	1 space / 80 sq m (varies by use)
xvii)	Maximum commercial GFA shall be 2,300 sq.m	
xviii)	Vehicles associated with a car share program shall be permitted to be parked in required visitor spaces.	
xix)	The total number of minimum required parking spaces may be reduced by 10 for every car-share parking space provided.	
xx)	For the purposes of this By-law, condominium roads shall be considered public roads for the purpose of determining zoning compliance;	
xxi)	Notwithstanding Section 4.8 a) balconies may project into all yards and shall be permitted 0 metres to a lot line. (1.5 m)	
xxii)	Notwithstanding Section 4.4 air conditioners shall be permitted in the front yard up to 0.6 m from the front, exterior and interior lot line where the front lot line abuts an OS zone or private amenity space associated with a registered plan of condominium.	
xxiii)	For the purposes of this zone, Table 6.1, Footnotes 3, 4, 5 and 8 shall not apply.	
xxiv)	The provisions of Section 4.32, Table 4.4 shall not apply.	

### 13.6 EXCEPTIONS – OS2 – FF

<b>1</b>	Exception Number	FF
<b>2</b>	Zone	OS2
<b>3</b>	Municipal Address	PART OF LOTS 11 & 12, CONCESSION 11
<b>4</b>	Additional Permitted Uses:	a) Art gallery b) Community Centre c) Conservation Use d) Day Nursery e) Library f) Museum g) School, Commercial h) School, Private i) School, Public j) Studio k) Parks l) Any other community use or other use as determined by the Town.
<b>5</b>	Additional Complementary Uses	N/A
<b>6</b>	Only Permitted Uses	N/A
<b>7</b>	Uses Prohibited	N/A
<b>8</b>	Special Provisions	
	i)	N/A

### 13.7 EXCEPTIONS – OS3 – GG

<b>1</b>	Exception Number	GG
<b>2</b>	Zone	OS3
<b>3</b>	Municipal Address	PART OF LOTS 11 & 12, CONCESSION 11
<b>4</b>	Additional Permitted Uses:	a) Stormwater Management Pond b) Stormwater Management Infrastructure c) Greenbelt Lands d) Parks e) Trails
<b>5</b>	Additional Complementary Uses	N/A
<b>6</b>	Only Permitted Uses	N/A
<b>7</b>	Uses Prohibited	N/A
<b>8</b>	Special Provisions	
	ii)	N/A

# SCHEDULE '1' TO BY-LAW 2025-\_\_\_\_\_

