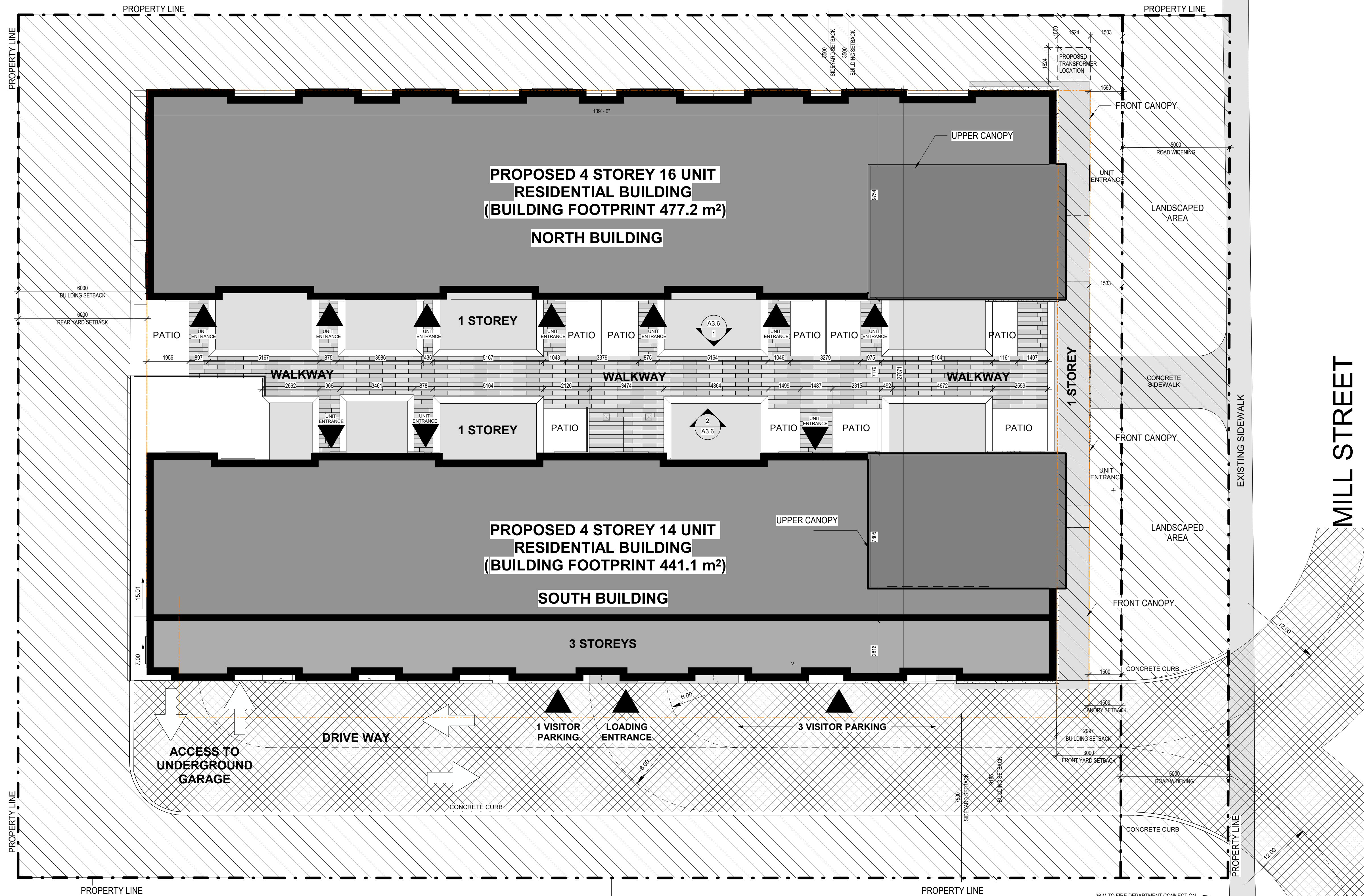


# GREENSPACE - SILVER CREEK

TYPICAL PARKING FLOOR AREA = 15,502 SF  
 GROUND FLOOR APPROX AREA = 7,515 SF  
 2ND FLOOR AREA = 8,596 SF  
 3RD FLOOR AREA = 9,145 SF  
 4TH FLOOR AREA = 7,911 SF



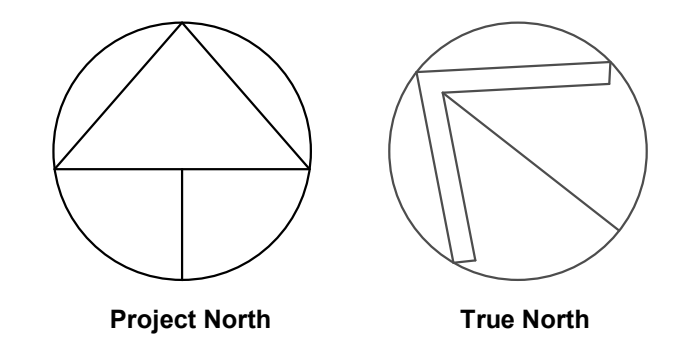
SITE DATA			
16 + 18 Mill Street, Georgetown, Ontario			
DATA	EXISTING ZONE	PROPOSED ZONE	PROPOSED ZONE
EXISTING ZONING		ZONING - LDR1-2	
PROPOSED ZONING		ZONING - MDR2-SPECIAL (APARTMENTS)	
LOT AREA (m²) - PRE-ROAD WIDENING		2271.69 (m²)	
LOT AREA (m²) - POST-ROAD WIDENING		2078.51 (m²)	
MINIMUM LOT FRONTAGE (m)	11.0 (m)	11.0 (m)	40.23 (m)
FRONT YARD (m)	4.5 (m)	4.5 (m)	6.0 (m) pre-road widening 3.0 (m) post-road widening
INTERIOR SIDE YARD (m)	7.5 (m)	7.5 (m)	3.5 (m) (north) & 9.18 (m) (south)
EXTERIOR SIDE YARD (m)	6.0 (m)	3.5 (m)	3.5 (m)
REAR YARD (m)	7.5 (m)	7.5 (m)	6.0 (m)

BUILDING DATA		
DATA	REQUIRED	PROVIDED
TOTAL DENSITY (# of units)	145 (units per ha.)	30 units (Pre-Road Widening, 133 units per ha) 146 units (Post-Road Widening, 146 units per ha)
BUILDING AREA (m²) - NORTH BUILDING	XX (m²)	448.8 (m²)
BUILDING AREA (m²) - SOUTH BUILDING	XX (m²)	440.8 (m²)
TOTAL		889.6 (m²)
GROSS FLOOR AREA (m²) - NORTH	XX (m²)	1,671.5 (m²)
GROSS FLOOR AREA (m²) - SOUTH	XX (m²)	1,410.42 (m²)
TOTAL		3,082 (m²)
FLOOR SPACE INDEX (FSI) INCLUDING BELOW GRADE - NORTH BUILDING	XX (m²)	GFA + P1 & P2 COMM AND SERVICE LOT AREA = 1.5
FLOOR SPACE INDEX (FSI) INCLUDING BELOW GRADE - SOUTH BUILDING	XX (m²)	GFA + P1 & P2 COMM AND SERVICE LOT AREA = 1.3
FLOOR SPACE INDEX (FSI) ABOVE GRADE ONLY - NORTH BUILDING	XX (m²)	GFA / LOT AREA = 0.81
FLOOR SPACE INDEX (FSI) ABOVE GRADE ONLY - SOUTH BUILDING	XX (m²)	GFA / LOT AREA = 0.68
NUMBER OF STOREYS	6 MAX.	4
BUILDING HEIGHT (m)	25 (m) MAX.	13.2 (m)

LANDSCAPING DATA		
DATA	REQUIRED	PROVIDED
LANDSCAPE AREA (percentage)	XX (%)	29 (%)
LANDSCAPE AREA (m²)	XX (m²)	596.4 (m²)

VEHICLE PARKING DATA		
DATA	REQUIRED	PROVIDED
RESIDENTIAL PARKING (NORTH BUILDING)	In apartment building - 1.5 spaces for each residential unit = 45	
RESIDENTIAL PARKING (SOUTH BUILDING)	In apartment building - 1.5 spaces for each residential unit = 45	48
TOTAL	45	48
BARRIER FREE PARKING (INCLUDED IN RES. COUNT)	-	4
VISITOR PARKING	30 UNITS @ 0.25 = 8	8
TOTAL		56

BICYCLE PARKING DATA		
DATA	REQUIRED	PROVIDED
RESIDENTIAL BICYCLE PARKING	N/A	2
TOTAL		2



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No.	Date	Revision
2	2022-04-11	ISSUED FOR OPA/ZBA
1	2022-04-06	ISSUED FOR REZONING

Project No: 20052  
 Project Date: 2022-04-11  
 Drawn by: TJM  
 Checked by: MYV  
 Plot Date / Time: 2022-04-11 10:12:59 AM

## 16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

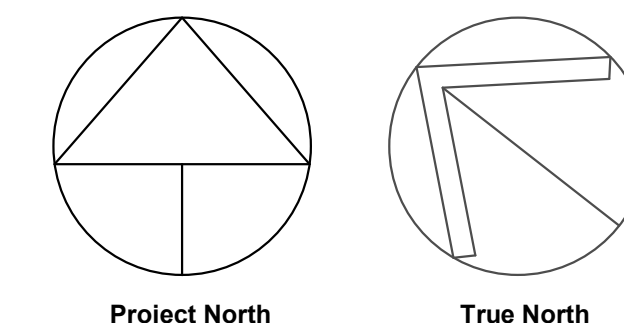
**SITE PLAN**

Drawing Scale: As indicated  
 Status: CLIENT APPROVAL  
 Drawing No.: 5572  
 Revision No.: A1.1 - r2

1 SITE PLAN  
 1:100

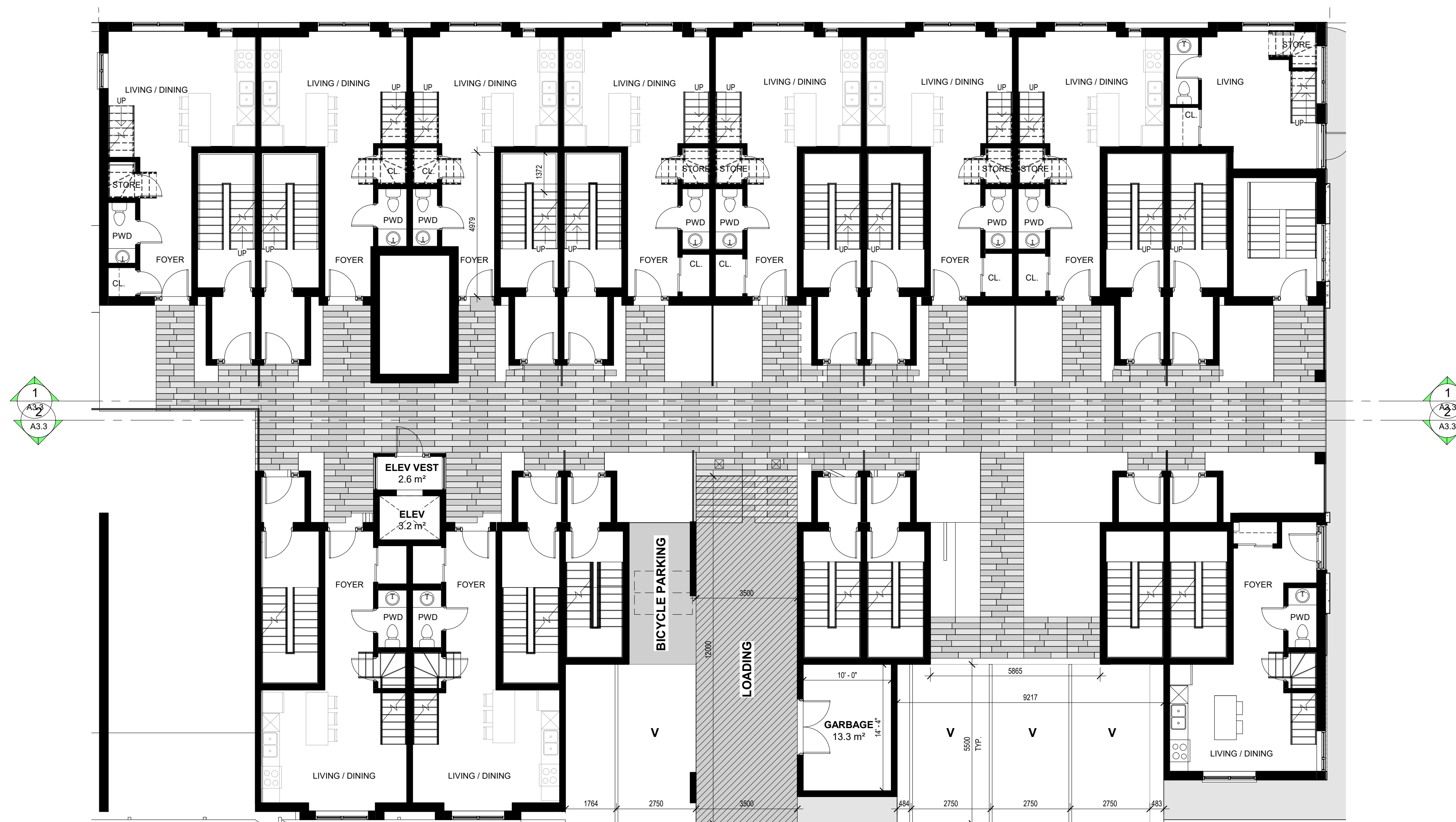
**NOTES:**  
 As recommended within the Environmental Noise Assessment prepared by SLR Consulting (Canada) Ltd., dated December 14, 2020, an Acoustical Consultant (a qualified professional) shall be retained to review and confirm the final building design to ensure compliance with the recommendations made within the report.

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**GENERAL NOTES**

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**1 FLOOR PLAN - LEVEL 1**  
1 : 100

No.	Date	Revision
6	2022-04-11	ISSUED FOR OPA/ZBA
5	2022-04-08	ISSUED FOR REZONING
4	2020-12-16	ISSUED FOR REZONING
3	2020-12-04	Consultant Coordination
2	2020-11-19	Consultant Coordination
1	2020-09-28	Consultant Coordination

	Project No.	20052
	Project Date	2022-04-11
	Drawn by	TJM
	Checked by	MYV
	Plot Date / Time	2022-04-11 10:11:53 AM

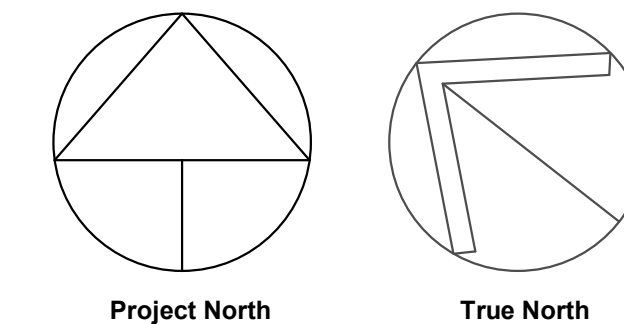
**16 & 18 MILL STREET,  
GEORGETOWN  
DEVELOPMENT**

**LEVEL 1 FLOOR PLANS**

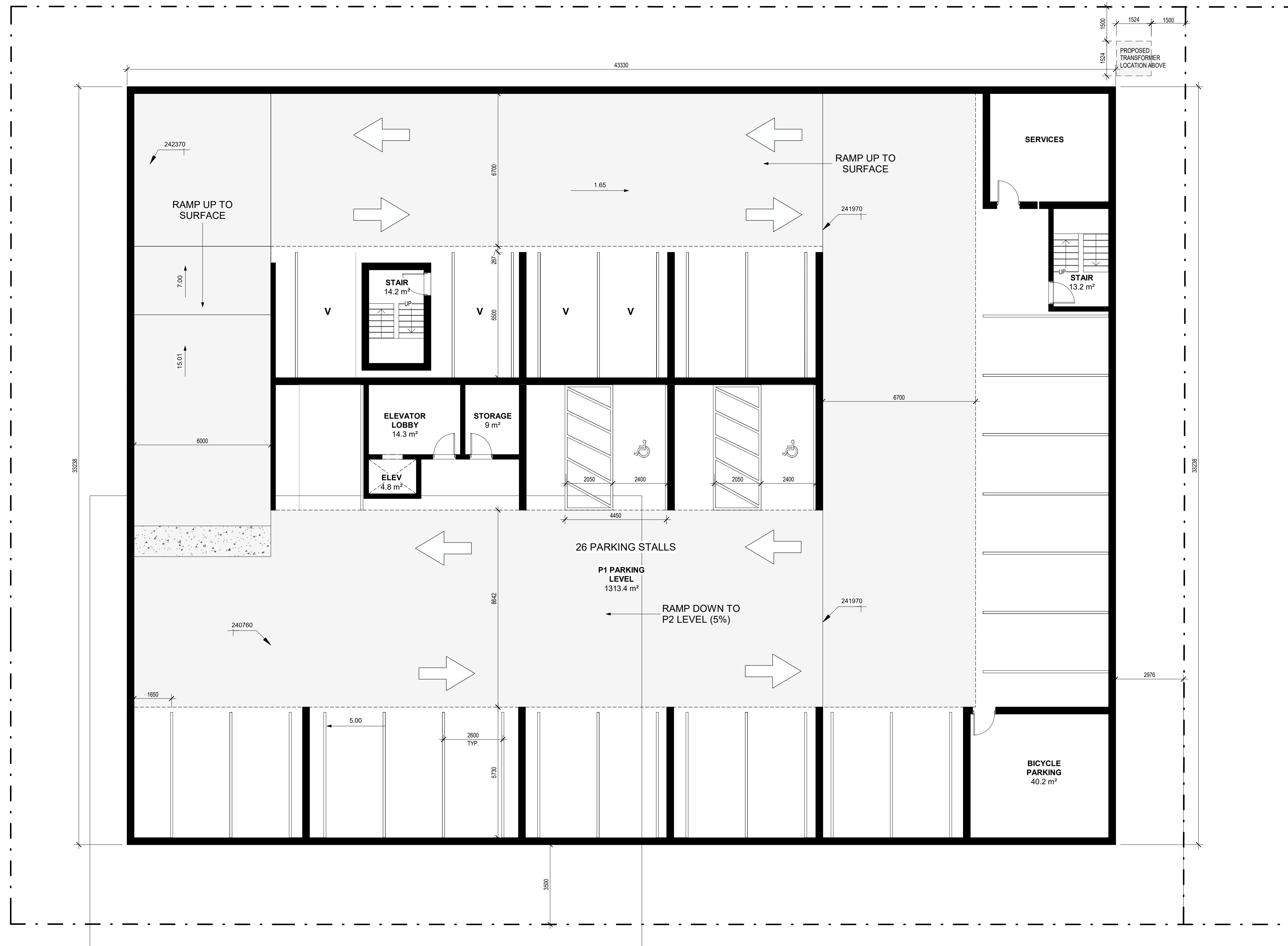
	Drawing Scale	1 : 100
	Status	
	Client Approval	
	Drawing No.	Revision No.

**A2.3 - r6**

AREA STATISTICS - LEVEL P1	
Name	Area
<b>Common</b>	
STAIR	13.20 m <sup>2</sup>
STAIR	14.22 m <sup>2</sup>
	27.41 m <sup>2</sup>
<b>MECH. ROOM</b>	
ELEVATOR LOBBY	14.30 m <sup>2</sup>
STORAGE	8.99 m <sup>2</sup>
ELEV	4.81 m <sup>2</sup>
BICYCLE PARKING	40.24 m <sup>2</sup>
	68.33 m <sup>2</sup>
<b>Parking</b>	
P1 PARKING LEVEL	1313.38 m <sup>2</sup>
	1313.38 m <sup>2</sup>
<b>Services</b>	
SERVICES	31.07 m <sup>2</sup>
	31.07 m <sup>2</sup>
<b>Grand total</b>	<b>1440.20 m<sup>2</sup></b>



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	Project No.	20052
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	Drawn by	TJM
	Checked by	MYV
	Plot Date / Time	2022-04-11 10:12:32 AM

**16 & 18 MILL STREET,  
GEORGETOWN  
DEVELOPMENT**

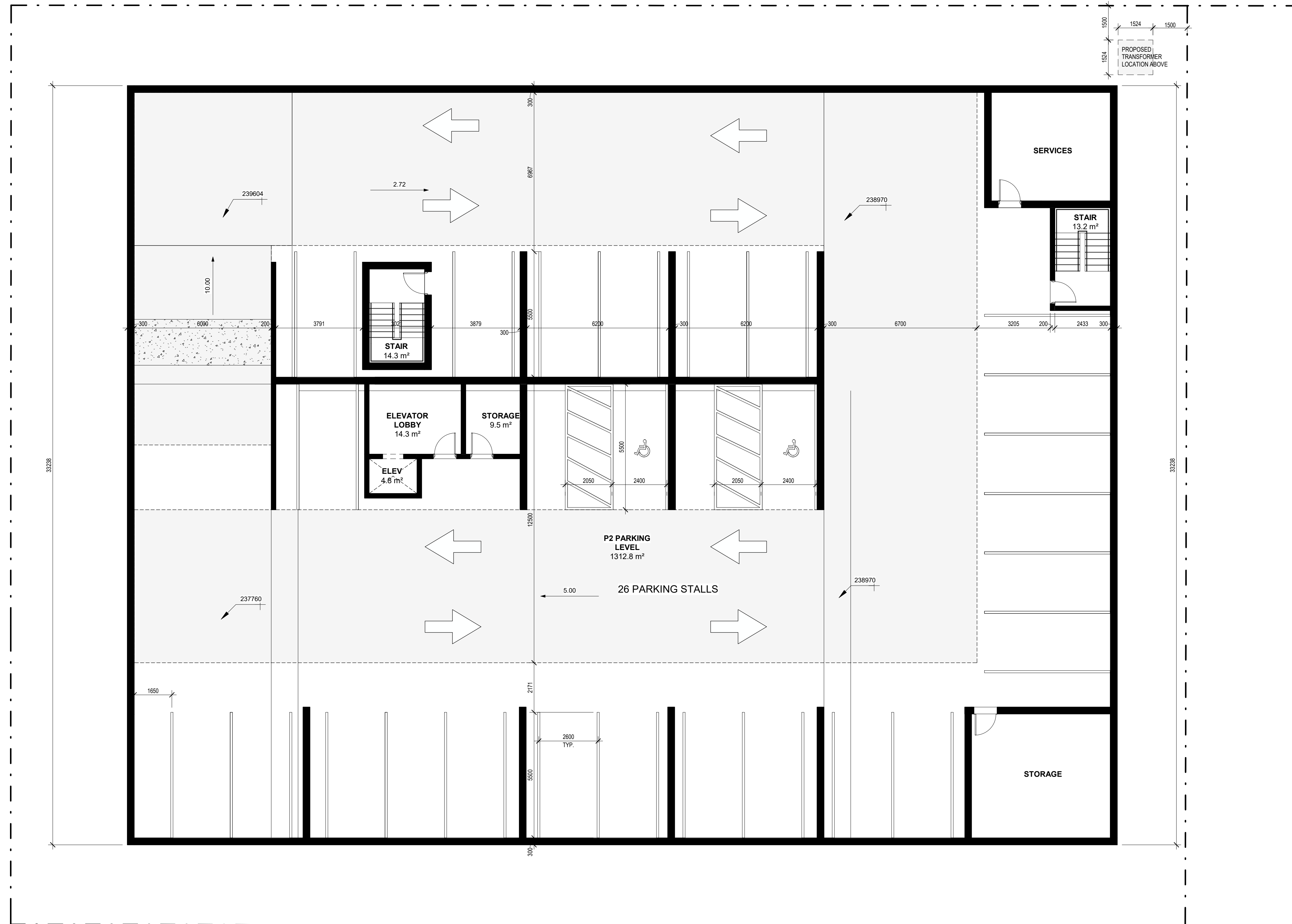
**P1 LEVEL PARKING**

	Drawing Scale	1 : 100
	Status	
	Client Approval	
	Drawing No.	Revision No.

**A2.1 - r6**

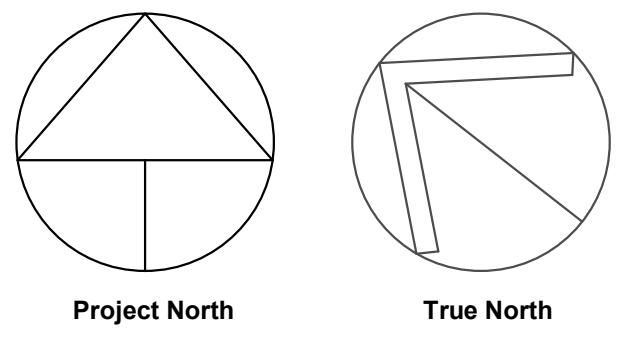
**1 P1 PARKING LEVEL**  
1 : 100

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1 P2 PARKING LEVEL  
1:100

AREA STATISTICS - LEVEL P2	
Name	Area
<b>Common</b>	
STORAGE	40.23 m <sup>2</sup>
STAIR	14.25 m <sup>2</sup>
STAIR	13.19 m <sup>2</sup>
	67.67 m <sup>2</sup>
<b>MECH. ROOM</b>	
ELEVATOR LOBBY	14.30 m <sup>2</sup>
STORAGE	9.50 m <sup>2</sup>
ELEV	4.81 m <sup>2</sup>
	28.61 m <sup>2</sup>
<b>Parking</b>	
P2 PARKING LEVEL	1312.81 m <sup>2</sup>
	1312.81 m <sup>2</sup>
<b>Services</b>	
SERVICES	31.07 m <sup>2</sup>
	31.07 m <sup>2</sup>
<b>Grand total</b>	<b>1440.16 m<sup>2</sup></b>



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**srm**  
ARCHITECTS INC.

Project No: 20052  
Project Date: 2022-04-11  
Drawn by: TJM  
Checked by: MYV  
Plot Date / Times: 2022-04-11 10:12:16 AM

**16 & 18 MILL STREET,  
GEORGETOWN  
DEVELOPMENT**

**P2 LEVEL PARKING**

Ontario Association of Architects  
OF ARCHITECTS  
EDWARD THOMAS  
LICENCE 5572

Drawing Scale: 1:100  
Status: CLIENT APPROVAL  
Drawing No. / Revision No.: A2.2 - r6