



BY-LAW NO. 2022-XXXX

A By-law to amend Zoning By-law 2010 0050, as amended by By-law 2022-XXXX, for the lands described as Part of Lot 19 9 ESQ Concession 9 207755 Town of Halton Hills, Regional Municipality of Halton.

WHEREAS Council is empowered to enact this By-law by virtue under the provisions of Sections 34, 36 and 27 of the Planning Act, R.S.O, 1990;

AND WHEREAS on ____, Council for the Town of Halton Hills approved Report No. PD-2022-XXXX, dated ____, in which certain recommendations were made relating to amending Zoning By-law 2010-0050;

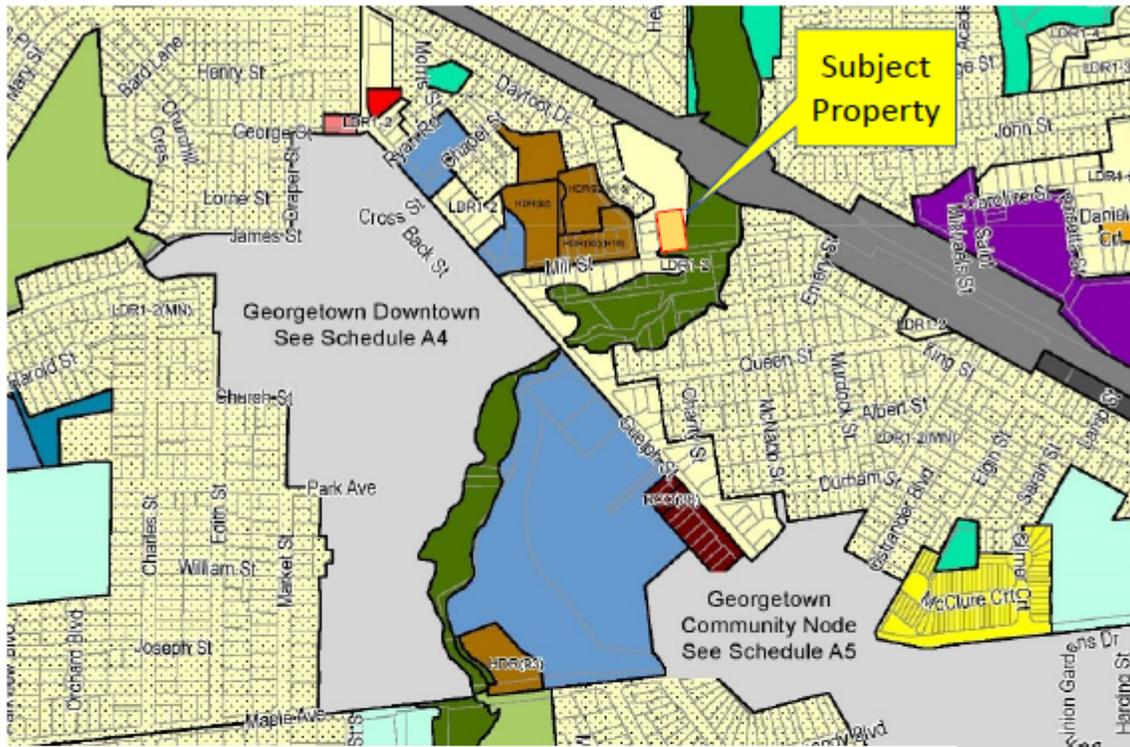
AND WHEREAS said recommendation will conform to the Official Plan for the Town of Halton Hills;

NOW THEREFORE, BE IT RESOLVED THAT THE COUNCIL OF THE CORPORATION OF THE TOWN OF HALTON HILLS ENACTS AS FOLLOWS:

1. That Schedule A3-1 of Zoning By-law 2010-0050, as amended, is hereby further amended by rezoning the lands municipally known as 16-18 Mill Street, Town of Halton Hills (Georgetown), from Low Density Residential One (LDR1-2) & Environmental Protection One (EP1) to Medium Density Residential Two (MDR2-Special) as shown on Schedule 1 attached to and forming part of this B-Law.
2. That Table 2.1: Exceptions of Zoning By-law 2010-0050 is hereby further amended by amending the Special Provisions contained in Schedule 2 attached to and forming part of this By-Law.

BY-LAW read and passed by the council for the Town of Halton Hills this _____

Schedule 1 to By-law 2022-XXXX



- | | | |
|--------------------------------------|-----------------------------------|--|
| Low Density Residential One, LDR1 | Environmental Protection One, EP1 | Development, D |
| Low Density Residential Two, LDR2 | Environmental Protection Two, EP2 | Downtown Commercial Two, DC2 |
| Medium Density Residential One, MDR1 | Open Space One, OS1 | Local Commercial, LC |
| Medium Density Residential Two, MDR2 | Open Space Two, OS2 | Residential Commercial, RC0 |
| High Density Residential, HDR | Open Space Three, OS3 | Transportation, T |
| | Open Space Four, OS4 | Lands Subject to By-law 57-91 as Amended |
| | Institutional, I | Low Density Residential One Mature Neighbourhood, LDR1(MN) |

Subject Property – Lands to be Rezoned MDR2 - special

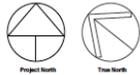
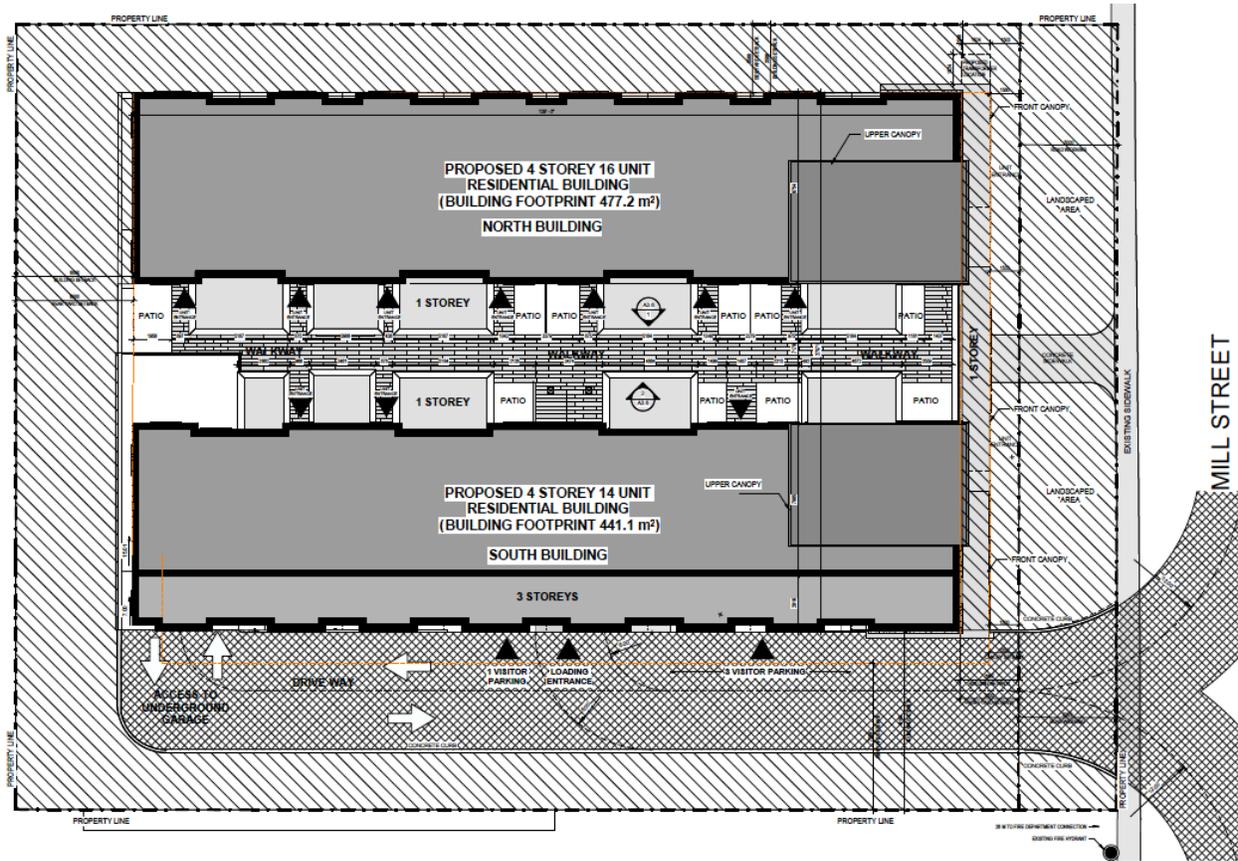
EXCERPT FROM
SCHEDULE A3-1
GEORGETOWN
TO ZONING BY-LAW 2010-0050

Schedule 2 to By-law 2022-XXXX

2.1 EXCEPTIONS

1	2	3	4
Exception Number	Zone	Municipal address	Special Provisions
Special (XX)	MDR2	16-18 Mill Street (Part of Lot 19 9 ESQ Concession 9 207755)	(i) All lands within this zone are deemed to be one lot for the purposes of this By-law; (ii) All setback and density requirements are calculated after any dedications to the municipality for a road widening (iii) Parking areas located on the ground floor shall be setback a minimum of 0 metres from any building or structure (iv) New apartment dwelling units and floor space are permitted – <i>Table 6.1 Special Provision 8 from the Zoning By-Law 2010-0050 shall not apply;</i> (v) Minimum required front yard setback – as shown on Schedule 3 to this By-law; (vi) Minimum required rear yard setback – as shown on Schedule 3 to this By-law; (vii) Minimum required interior side yard setback – as shown on Schedule 3 to this By-law; (viii) The maximum number of dwelling units permitted shall not exceed 146 units per 1.0 hectare of lot area (ix) The minimum number of rental units to be provided is 12;

Schedule 3 to By-law 2022-XXXX



The Table below has been provided to assist with Staff review and shall not be included in By-Law 2022-XXXX

Zoning By-Law Amendment By-Law 210-0050	Existing 'LDR1-2' and 'EP1'	Required 'MDR2' (Apartment Dwellings)	Proposed 'MDR2 Special' (Apartment Dwellings)
Min. Front Yard		4.5 m	8.0 m (pre-road widening) 3.0 m (post-road widening)
Min. Rear Yard		7.5 m	6.0 m
Min. Int. Side Yard		7.5 m	3.5 m (north) 9.18 m (south)
Parking Area Location in Relation to Buildings and Structures (5.2.19)		1.2 m setback required in between parking areas and building	0 m (for the ground level visitor parking spaces)
Table 6.1 – Special Provision 8.		Only the number of units and related floor area that existing on the effective date of this By-law are permitted	Special provision deleted for apartment dwellings
Table 6.4 – Special Provision 5.		The maximum number of dwelling units permitted shall not exceed 50 units per 1.0 hectare of lot area	133 units/hectare (pre-road widening) 146 units/hectare (post-road widening)
USE:		(Limited) Apartment	Apartment which must have a minimum of 12 rental units (rental replacement)