



**BY-LAW NO. 2023-XXXX**

A By-law to amend Zoning By-law 2010 0050, as amended by By-law 2023-XXXX, for the lands described as Part of Lot 19 9 ESQ Concession 9 207755 Town of Halton Hills, Regional Municipality of Halton.

**WHEREAS** Council is empowered to enact this By-law by virtue under the provisions of Sections 34, 36 and 27 of the Planning Act, R.S.O, 1990;

**AND WHEREAS** on \_\_\_\_, Council for the Town of Halton Hills approved Report No. PD-2023-XXXX, dated \_\_\_\_, in which certain recommendations were made relating to amending Zoning By-law 2010-0050;

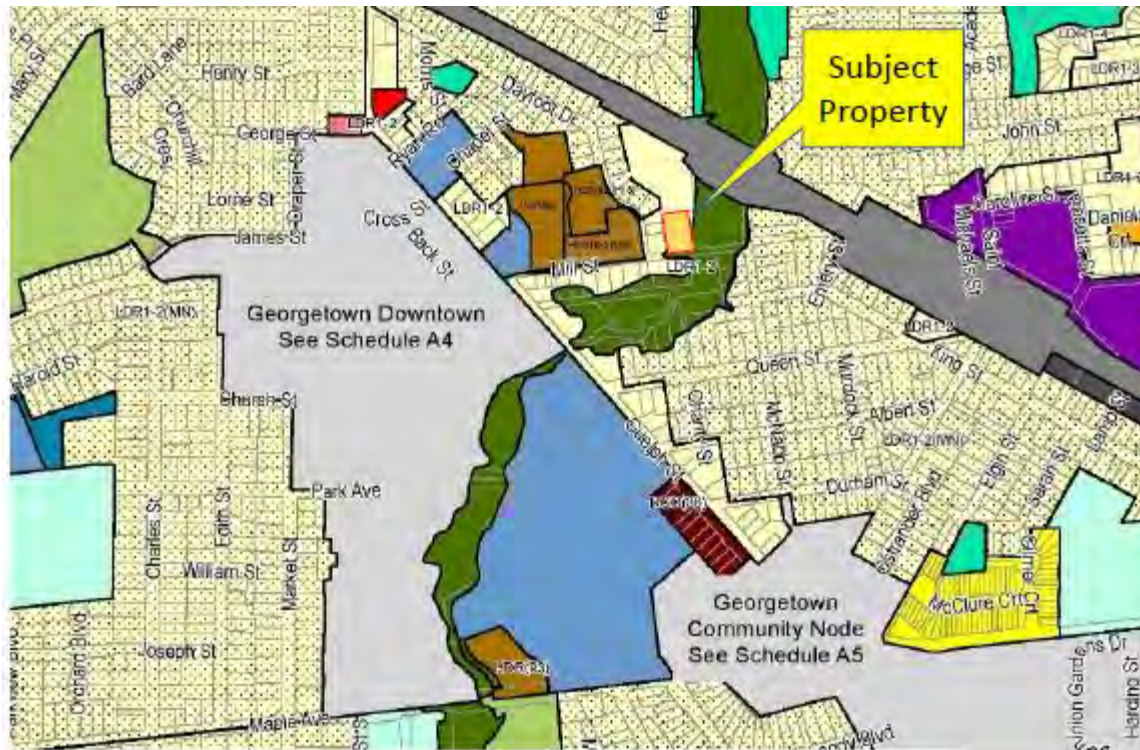
**AND WHEREAS** said recommendation will conform to the Official Plan for the Town of Halton Hills;

**NOW THEREFORE, BE IT RESOLVED THAT THE COUNCIL OF THE CORPORATION OF THE TOWN OF HALTON HILLS ENACTS AS FOLLOWS:**

1. That Schedule A3-1 of Zoning By-law 2010-0050, as amended, is hereby further amended by rezoning the lands municipally known as 16-18 Mill Street, Town of Halton Hills (Georgetown), from Low Density Residential One (LDR1-2) & Environmental Protection One (EP1) to Medium Density Residential Two (MDR2-Special) as shown on Schedule 1 attached to and forming part of this B-Law.
2. That Table 2.1: Exceptions of Zoning By-law 2010-0050 is hereby further amended by amending the Special Provisions contained in Schedule 2 attached to and forming part of this By-Law.

BY-LAW read and passed by the council for the Town of Halton Hills this \_\_\_\_\_

# Schedule 1 to By-law 2023-XXXX



Low Density Residential One, LDR1	Environmental Protection One, EP1	Development, D
Low Density Residential Two, LDR2	Environmental Protection Two, EP2	Downtown Commercial Two, DC2
Medium Density Residential One, MDR1	Open Space One, OS1	Local Commercial, LC
Medium Density Residential Two, MDR2	Open Space Two, OS2	Residential Commercial, RC0
High Density Residential, HDR	Open Space Three, OS3	Transportation, T
	Open Space Four, OS4	Lands Subject to By-law 57-91 as Amended
	Institutional, I	Low Density Residential One Mature Neighbourhood, LDR1(MN)
Subject Property – Lands to be Rezoned MDR2 - special		

EXCERPT FROM  
SCHEDULE A3-1  
GEORGETOWN  
TO ZONING BY-LAW 2010-0050

**TOWN OF HALTON HILLS ZONING BY-LAW**

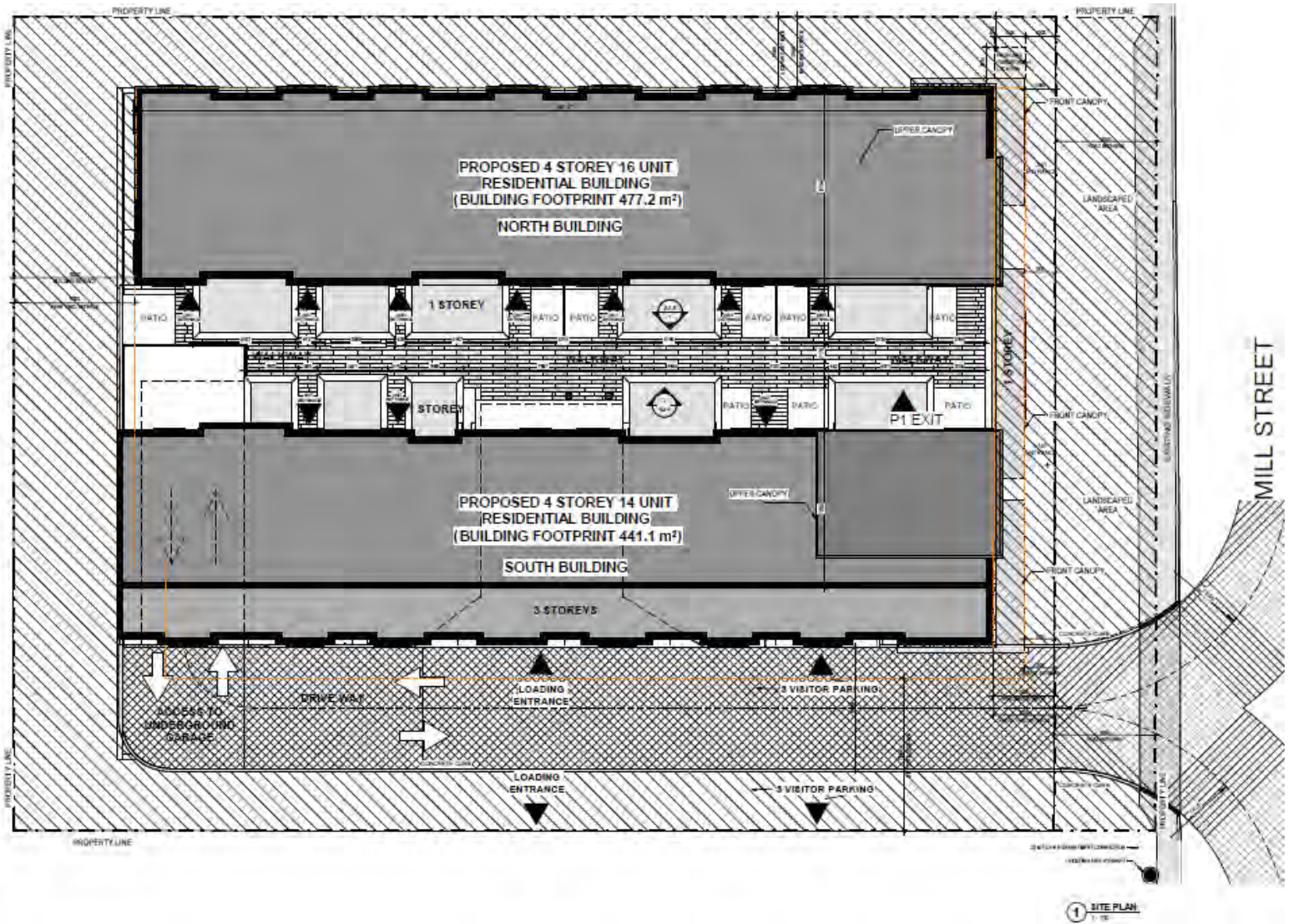
## Schedule 2 to By-law 2023-XXXX

### 2.1 EXCEPTIONS

1	2	3	4
Exception Number	Zone	Municipal address	Special Provisions
Special (XX)	MDR2	16-18 Mill Street  (Part of Lot 19 9 ESQ Concession 9 207755)	<p>(i) All lands within this zone are deemed to be one lot for the purposes of this By-law;</p> <p>(ii) All setback and density requirements are calculated after any dedications to the municipality for a road widening;</p> <p>(iii) Minimum required setback from a building for parking spaces located on ground floor – 0 metres;</p> <p>(iv) Minimum required front yard setback – 2.9 metres (1.5 metres to a canopy);</p> <p>(v) Minimum required (east) side yard setback – 3.5 metres;</p> <p>(vi) Maximum height – 15.61 metres; For the portion of the building greater than 13.4 meters a stepback of 11m is required. No angular plane is then required.</p> <p>(vii) No portion of the building or structure, excluding parapets, guard rails, railing and dividers, trellises, eaves, screens, stairs, roof drainage, window washing equipment, lightning rods, garbage chute overruns, plumbing vents, electric panel with enclosure, architectural features and/or landscaping elements of a green roof is to have a height greater than the height in metres specified by provision (vi) of this By-Law.</p> <p>(viii) Minimum required number of parking spaces for 'Apptyaments' shall be provided at a rate of 1.5 spaces per dwelling unit plus 0.25 visitor spaces per unit.</p> <p>(ix) Notwithstanding Special Provision 8, of Table 6.1, the maximum number of dwelling units permitted shall not exceed 34 Units;</p>

			<p>(x) Minimum number of rental housing units should meet or exceed 12 units.</p> <p>(xi) The portions of the building or structure above ground must be located within the areas delineated by heavy lines as shown on Schedule 3 of this By-Law except that balconies, cornices, light fixtures, ornamental elements, parapets, art and landscape features, eaves, window sills, planters, ventilations and exhaust shafts, guardrails, balustrades, railings, stairs, stair enclosures, doors, wheelchair ramps, fences, screens, site servicing features, awnings and canopies, window washing equipment and underground garage ramps and associated structures may extend beyond.</p>
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Schedule 3 to By-law 2023-XXXX



The Table below has been provided to assist with Staff review and shall not be included in By-Law 2023-XXXX

<b>Zoning By-Law Amendment</b> By-Law 210-0050	<b>Existing</b> ‘LDR1-2’ and ‘EP1’	<b>Required</b> ‘MDR2’ (Multiple Dwellings)	<b>Proposed</b> ‘MDR2 Special’ (Multiple Dwellings)
Parking Area Location in Relation to Buildings and Structures (5.2.19)		Min. 1.2 m setback required in between parking areas and building	Min. required setback from a building for parking spaces located on ground floor shall be 0
Min. Front Yard (Table 6.4)		4.5 m	1.5 m (post-road widening)
Encroachment into Front Yard (4.8 a i)		Max. 2.5 m into the Required Front Yard <b>and</b> no closer than 1.5 m to the Front Lot Line	Canopies can be no closer than 1.5 m to the Front Lot Line
Min. Rear Yard (Table 6.4)		4.5 m , 13.4m for height above 13.4m	5.0 m, 11m for height above 13.4m
Min. Int. Side Yard (Table 6.4)		4.5 m	3.5 m (East) 6 m(West)
Max. Height (Table 6.4)		13.4 m	15.1 m
Min. Lot Frontage Special Provision 4. (Table 6.4)		The max. number of dwelling units permitted shall not exceed 50 units per 1.0 hectare of lot area	The max. number of dwelling units shall not exceed 34 units
Min. Parking Spaces (Table 5.2)		Min. required number of parking spaces for ‘multiple unit buildings’ shall be provided at a rate of 1.5 spaces per dwelling unit plus 0.25 visitor spaces per unit = 60	61 spaces (includes 8 visitor spaces & 4 Barrier Free spaces)
Barrier-Free Parking	Multiple Dwellings	4	4 (included in total parking count)