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20052_16 & 18 Mill St - ZBA_detached.rvt

BUILDING CODE REVIEW SUMMARY

Firm Name:
SRM Architects Inc.
279 King Street West
Suite 200
Kitchener, Ontario, N2G 1B2
T: 519.885.5600

Certificate of Practice Number: 4273

Name of Project:
16 & 18 Mill St. Georgetown

The Architect noted above has exercised responsible control with respect to design activities. The Architects seal number is the Architect's BCDN.

Item	Ontario Building Code Matrix Parts 3 & 9	OBC Section Reference	
1	Project Description: ■ New Construction ☐ Addition ☐ Alteration ☐ Change of Use ☐ Part 11 11.1 to 11.4	■ Part 3 1.1.2.[A]	☐ Part 9 1.1.2.[A] and 9.10.1.3.
2	Major Occupancy (s) Group C - Multi-Unit Residential	3.1.2.1(1)	9.10.2
3	Building Area (m²) Existing xx New 913.7 (m²) Total 913.7 (m²)	1.4.1.2.[A]	1.4.1.2.[A]
4	Gross Area (m²) Existing xx New 3,211.3 (m²) Total 3,211.3 (m²)	1.4.1.2.[A]	1.4.1.2.[A]
5	Number of Storeys Above Grade 4 Below Grade 2	1.4.1.2.[A] & 3.2.1.1.	1.4.1.2.[A] & 9.10.4.
6	Height of Building 15.61 m (average grade to architectural canopy)		
7	Number of Streets / Access Routes 1	3.2.2.10 & 3.2.5.	9.10.20
8	Building Classification Group C, up to 4 Storeys, noncombustible construction 3.2.2.44	3.2.2.20 - 83	9.10.2
9	Sprinkler System Proposed ☐ Entire Building ☐ Selected Compartments ■ Basement Only ☐ Selected Floor Areas ☐ In lieu of roof rating ☐ Not required	3.2.2.20 - 83 3.2.1.5 3.2.2.17 Index	9.10.8.2. Index
10	Standpipe required ■ Yes ☐ No	3.2.9	N/A
11	Fire Alarm required ■ Yes ☐ No	3.2.4	9.10.18.
12	Water Service Supply is Adequate ■ Yes ☐ No	3.2.5.7	N/A
13	High Building ☐ Yes (refer to High Building Summary) ■ No	3.2.6	N/A
14	Construction Restrictions ☐ Combustible permitted ■ Non-combustible required ☐ Both Actual Construction ☐ Combustible ■ Non-combustible ☐ Both	3.2.2.20 - 83	9.10.6
15	Mezzanine (s) Area (m²) N/A	3.2.1.1.(3)-(8)	9.10.4.1
16	Occupant Load Based on ■ m² / person (Public) ■ 2 Persons/Sleeping Room Level P2: Occupancy F3 Load 29 persons Level P1: Occupancy F3 Load 29 persons Level 1: Occupancy A2 Load 4 persons Level 1: Occupancy C Load 34 persons Level 2: Occupancy C Load 40 persons Level 3: Occupancy C Load 46 persons Level 4: Occupancy C Load 42 persons **Total Building Load** 224 persons	3.1.17	9.9.1.3
17	Barrier Free Design ☐ Yes ■ No (Explain)	3.8	9.5.2
18	Hazardous Substances ☐ Yes ■ No	3.3.1.2. & 3.3.1.19.	9.10.1.3(4)
19	Required Fire Resistance Rating (FRR) Horizontal Assemblies Fire Resistance Rating (hours) / Listed Design No. or Description (SB-2) Floors 1 Hours — SB-2 T.2.2.1.A Roof 1 Hours Mezzanine N/A Hours Fire Resistance Rating of Supporting Members / Listed Design No. or Description (SB-2) Floors 1 Hours — SB-2 T.2.1.1 Roof 1 Hours Mezzanine N/A Hours	3.2.2.20 - 83 & 3.2.1.4.	9.10.8 & 9.10.9
20	Washroom Requirements: N/A	3.7.4.	9.31.
21	Exits Level P2: Occupancy F3 Exits Required 2 Exits Provided 2 Level P1: Occupancy F3 Exits Required 2 Exits Provided 2 Level 1: Occupancy A2 Exits Required 1/DU Exits Provided 1/DU Level 1: Occupancy C Exits Required 1/DU Exits Provided 1/DU Level 2: Occupancy C Exits Required 2 Exits Provided 2 Level 3: Occupancy C Exits Required 2 Exits Provided 2 Level 4: Occupancy C Exits Required 2 Exits Provided 2	3.4.	9.9
22	Fire Separations: Suites: 1HR Public Corridor: 1HR Janitor's Room: 0HR Service Rooms: 1HR Vertical Service Spaces: 1HR Elevator Hoistway: 1HR Elevator Machine Room: 1HR Exits: 1HR Stairwell: 1HR Storage Garage: 1.5HR Horizontal Service Space: 1HR Storage Rooms: 1HR	3.3.1.1., 3.3.4.2. 3.3.1.4. 3.3.1.20. 3.6.2. 3.6.3 3.5.3.1. 3.5.3.3. 3.4.4. 3.4.4. 3.2.1.2., 3.3.5.6. 3.1.8.3. 3.3.4.3	9.10.9.13., 9.10.9.14. 9.10.9.15. 9.10.10. 9.10.1.3. 9.9.4. 9.9.4. 9.10.4.3., 9.10.9.16 9.10.9.10. 9.10.10.6.
23	Barrier Free Entrances: Number of Entrances required to be Barrier Free = 1 Power Door Operators Required ☐ Yes ■ No	3.8.1.2. 3.8.3.3.	9.5.2
24	Roof Anchors: ■ Required ☐ Not Required	4.4.4	
25	Spatial Separation - Construction of Exterior Walls	3.2.3.	9.10.14.

Wall Face	Area of E.B.F.	Limiting Distance	Ratio L/H to H/L	Permitted Max % of Openings	Proposed Max % of Openings	Required F.R.R. of Wall	Listed Design or Description	Non-Combustible Cladding	Non-Combustible Construction
North	34.8 m²	3.5 m	3:1	17-28 %	20 %	1H	-	YES	YES
South	51.1 m²	9.2 m	3:1	100 %	23 %	1H	-	YES	YES
East	21.8 m²	13.0 m	<3:1	100 %	31 %	45 MIN	-	YES	YES
West	36.0 m²	5.0 m	3:1 to 10:1	48 %	21 %	1H	-	YES	YES
Interior North	122.4 m²	7.5/2 = 3.75 m	3:1 to 10:1	11 - 15 %	11 %	1H	-	YES	YES
Interior South	110.6 m²	7.5/2 = 3.75 m	3:1 to 10:1	11 - 15 %	11 %	1H	-	YES	YES

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4	2024-10-28	ISSUED FOR OPA/ZBA
3	2022-04-11	ISSUED FOR OPA/ZBA
2	2022-04-06	ISSUED FOR REZONING
1	2020-12-16	ISSUED FOR REZONING

Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM↗ architects+ urban⋆designers

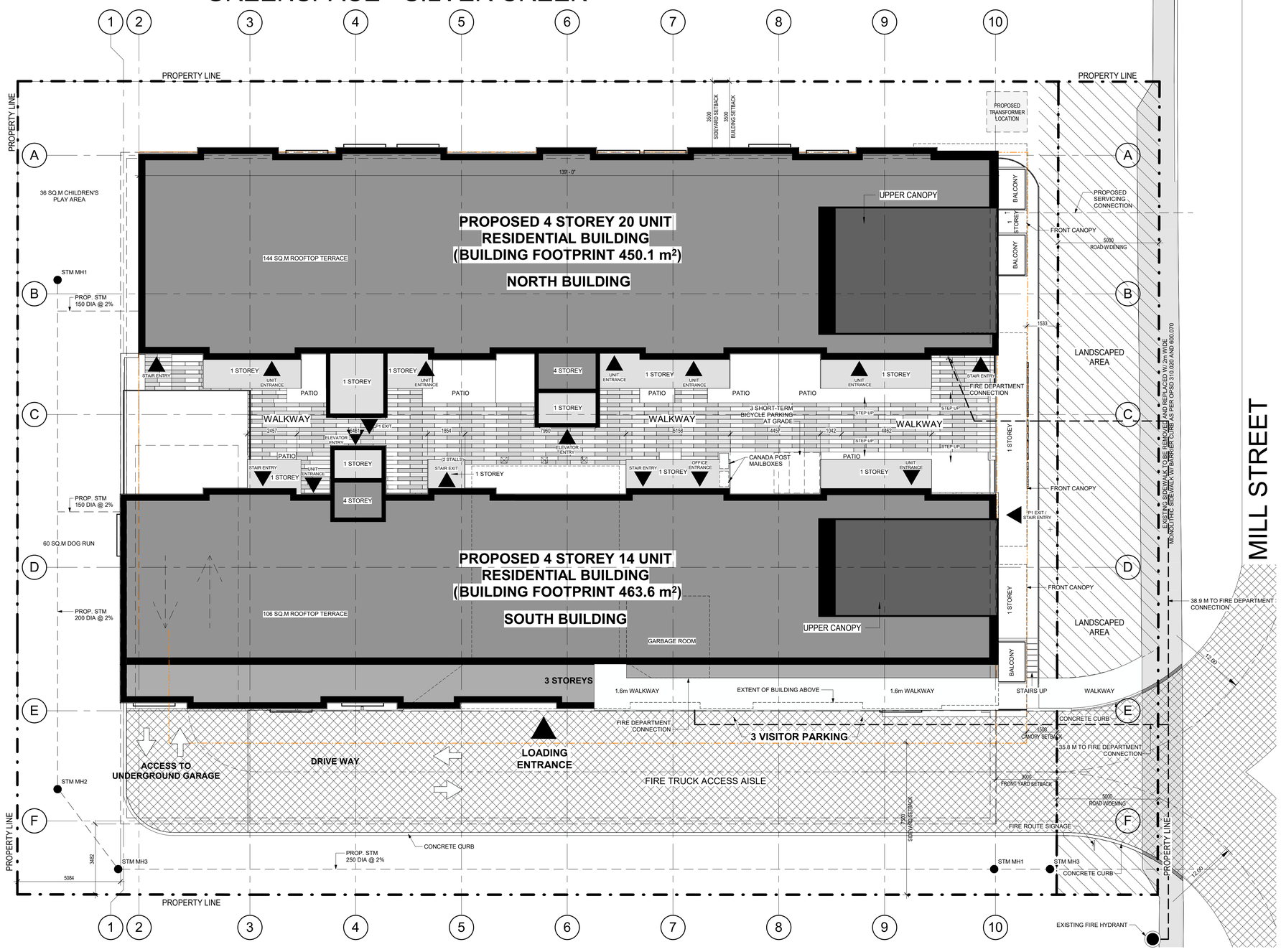
Project No: 20052
Drawing Date: 09/10/10
Drawn by: QP
Checked by: MYV
Office Location: KITCHENER
Plot Date / Time: 2025-06-19 10:44:49 AM

Drawing Name:

OBC MATRIX

Drawing Scale: 1 : 1
Status: OPA/ZBA
Revision No.: **r8**
Drawing No.: **A0.1**

GREENSPACE - SILVER CREEK



1 SITE PLAN
1 : 100

SITE DATA

16 + 18 Mill Street, Georgetown, Ontario

DATA		EXISTING ZONE	PROPOSED ZONE	PROPOSED
EXISTING ZONING		ZONING - LDR1-2		
PROPOSED ZONING		**ZONING - MDR2-SPECIAL (MULTIPLE DWELLING)**		
LOT AREA (m²) - PRE-ROAD WIDENING		2271.69 (m²)		
LOT AREA (m²) - POST-ROAD WIDENING		**2070.51 (m²)**		
MINIMUM LOT FRONTAGE (m)		11.0 (m)	11.0 (m)	40.23 (m)
SETBACKS	FRONT YARD (m)	4.5 (m)	4.5 (m)	7.9(m) pre-road widening 2.9(m) post-road widening
	INTERIOR SIDE YARD (m)	4.5 (m)	4.5 (m)	3.5 m (north) & 7.5 m (south)
	EXTERIOR SIDE YARD (m)	4.5 (m)	3.5 (m)	3.5 (m)
	REAR YARD (m)	4.5 (m)	4.5 (m)	5.0 (m)

BUILDING DATA

DATA	REQUIRED	PROVIDED
TOTAL DENSITY (# of units)	145 (units per ha.)	34 units (Pre-Road Widening, 150 units per ha) (Post-Road Widening, 164 units per ha)
BUILDING AREA (m²) - NORTH BUILDING BUILDING AREA (m²) - SOUTH BUILDING **TOTAL**	XX (m²)	450.1 (m²) 463.6 (m²) **913.7 (m²)**
GROSS FLOOR AREA (m²) - PARKING 2 GROSS FLOOR AREA (m²) - PARKING 1 GROSS FLOOR AREA (m²) - LEVEL 1 GROSS FLOOR AREA (m²) - LEVEL 2 GROSS FLOOR AREA (m²) - LEVEL 3 GROSS FLOOR AREA (m²) - LEVEL 4		1,440.2 (m²) 1,440.2 (m²) 687.66 (m²) 804.5 (m²) 894.9 (m²) 806.6 (m²)
GROSS FLOOR AREA (m²) - NORTH GROSS FLOOR AREA (m²) - SOUTH **TOTAL**	XX (m²) XX (m²)	1,756.8 (m²) 1,436.9 (m²) **3,193.7 (m²)**
FLOOR SPACE INDEX (FSI) INCLUDING BELOW GRADE - NORTH BUILDING	XX (m²)	GFA + P1 & P2 COMM. AND SERVICE/ LOT AREA = 1.5
FLOOR SPACE INDEX (FSI) INCLUDING BELOW GRADE - SOUTH BUILDING	XX (m²)	GFA + P1 & P2 COMM. AND SERVICE/ LOT AREA = 1.4
FLOOR SPACE INDEX (FSI) ABOVE GRADE ONLY - NORTH BUILDING	XX (m²)	GFA / LOT AREA =0.85
FLOOR SPACE INDEX (FSI) ABOVE GRADE ONLY - SOUTH BUILDING	XX (m²)	GFA / LOT AREA = 0.70
NUMBER OF STOREYS	6 MAX.	4
BUILDING HEIGHT (m) (MDR2 special)	15.1 (m) MAX.	15.61 (m)

UNIT DATA

DATA	REQUIRED	PROVIDED
NORTH BUILDING	XX	2 BED = 12 (2 B.F. INCL.) 3 BED = 8 (1 B.F. INCL.) TOTAL = 20
SOUTH BUILDING	XX	2 BED = 9 (2 B.F. INCL.) 3 BED = 5 (1 B.F. INCL.) TOTAL = 14
COMBINED TOTAL	XX	2 BED = 21 (4 B.F. INCL.) 3 BED = 13 (2 B.F. INCL.) TOTAL = 34

LANDSCAPING DATA

DATA	REQUIRED	PROVIDED
LANDSCAPE AREA (percentage)	XX (%)	29 (%)
LANDSCAPE AREA (m²)	XX (m²)	748 (m²)

VEHICLE PARKING DATA

DATA	REQUIRED	PROVIDED
RESIDENTIAL PARKING (NORTH BUILDING)	In Multiple Dwelling - 2 per dwelling unit= 50 2 * 20 residential units = 40	52
RESIDENTIAL PARKING (SOUTH BUILDING)	In Multiple Dwelling - 2 per dwelling unit= 50 2 * 14 residential units = 28	
TOTAL	**68**	**52**
BARRIER FREE PARKING (INCLUDED IN RES. COUNT)	1	5
VISITOR PARKING	34 UNITS*0.3 = 11	9 (1 BF INCL.)
	TOTAL	**61**

BICYCLE PARKING DATA

DATA	REQUIRED	PROVIDED
RESIDENTIAL BICYCLE PARKING	N/A	3 SHORT TERM 36 LONG TERM
	TOTAL	**39**

NOTES:

As recommended within the Environmental Noise Assessment prepared by SLR Consulting (Canada) Ltd., dated December 14, 2020; An Acoustical Consultant (a qualified professional) shall be retained to review and confirm the final building design to ensure compliance with the recommendations made within the report.

Project North

True North

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7	2025-02-03	ISSUED FOR OPA/ZBA
6	2024-10-28	ISSUED FOR OPA/ZBA
5	2024-06-08	ISSUED FOR COORDINATION
4	2024-03-19	ISSUED FOR OPA/ZBA
3	2024-02-16	REVIEW SET
2	2022-04-11	ISSUED FOR OPA/ZBA
1	2022-04-06	ISSUED FOR REZONING

Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM architects+ urban+designers

Project No: 20052
Drawing Date: 09-28-2020
Drawn by: JHF
Checked by: MYV
Office Location: KITCHENER
Plot Date / Time: 2025-06-19 10:44:51 AM

Drawing Name:

SITE PLAN

Drawing Scale: As indicated
Status: OPA/ZBA
Revision No.: r10
Drawing No.: **A1.1**

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11	2025-01-22	FOR REVIEW / COORDINATION
10	2024-10-28	ISSUED FOR OPA/ZBA
9	2024-08-08	ISSUED FOR COORDINATION
8	2024-03-19	ISSUED FOR OPA/ZBA
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3	2020-12-04	CONSULTANT COORDINATION
2	2020-11-19	CONSULTANT COORDINATION
1	2020-09-28	CONSULTANT COORDINATION

Client:

Project Name / Address:

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SRM architects+ urban⋆designers

Project No: 20052

Drawing Date: 09-28-2020

Drawn by: JHF

Checked by: MYV

Office Location: KITCHENER

Plot Date / Time: 2025-06-19 10:44:51 AM

Drawing Name:

P1 LEVEL PARKING

Drawing Scale: 1 : 100

Status: OPA/ZBA

Revision No.: r15

Drawing No.: A2.1

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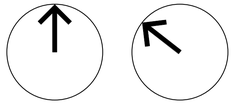

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Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM architects+ urban⋆designers

Project No: 20052

Drawing Date: 09-28-2020

Drawn by: JHF

Checked by: MYV

Office Location: KITCHENER

Plot Date / Time: 2025-06-19 10:44:52 AM

Drawing Name:

P2 LEVEL PARKING

Drawing Scale: 1 : 100

Status: OPA/ZBA

Revision No.: r15

Drawing No.: **A2.2**

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1 FLOOR PLAN - LEVEL 1
1 : 100

UNIT DATA - LEVEL 1	
WALKUP UNITS (GROUND FLOOR)	
TYPE	COUNT
2 BED	4 (2 B.F. INCL.)
3 BED	3 (1 B.F. INCL.)
TOTAL	7

Project North

True North

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Project Name / Address:

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SRM architects+ urban*designers

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Drawing Date: 09-28-2020

Drawn by: M.S

Checked by: MYV

Office Location: KITCHENER

Plot Date / Time: 2025-06-19 10:44:53 AM

Drawing Name:

LEVEL 1 FLOOR PLAN

Drawing Scale: As indicated

Status: OPA/ZBA

Revision No.: r12

Drawing No.: **A2.3**

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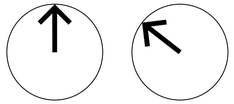
UNIT DATA - LEVEL 2	
WALKUP UNITS (SECOND FLOOR)	
TYPE	COUNT
2 BED	7 (1 B.F. INCL.)
3 BED	2 (0 B.F. INCL.)
TOTAL	9

1 **FLOOR PLAN - LEVEL 2**
1 : 100



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No.	Date	Revision
12	2025-06-19	ISSUED FOR REZONING
11	2025-05-30	ISSUED FOR OPA/ZBA
10	2025-04-28	ISSUED FOR OPA/ZBA
9	2025-02-03	ISSUED FOR OPA/ZBA
8	2024-10-28	ISSUED FOR OPA/ZBA
7	2024-08-08	ISSUED FOR COORDINATION
6	2022-04-11	ISSUED FOR OPA/ZBA
5	2022-04-06	ISSUED FOR REZONING
4	2020-12-16	ISSUED FOR REZONING
3	2020-12-04	CONSULTANT COORDINATION
2	2020-11-19	CONSULTANT COORDINATION
1	2020-09-28	CONSULTANT COORDINATION

Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM architects+ urban⋆designers

Project No:	20052
Drawing Date:	09-28-2020
Drawn by: M.S	Checked by: MYV
Office Location:	KITCHENER
Plot Date / Time:	2025-06-19 10:44:54 AM

Drawing Name:

LEVEL 2 FLOOR PLAN

Drawing Scale:	As indicated
Status:	OPA/ZBA
Revision No.:	r12
Drawing No.:	A2.4

Do not scale drawings. Contractors must check and verify all dimensions and report any discrepancies to the Architect before proceeding with the work. All documents remain the property of the Architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The Contract Documents were prepared by the Consultant for the account of the Owner.
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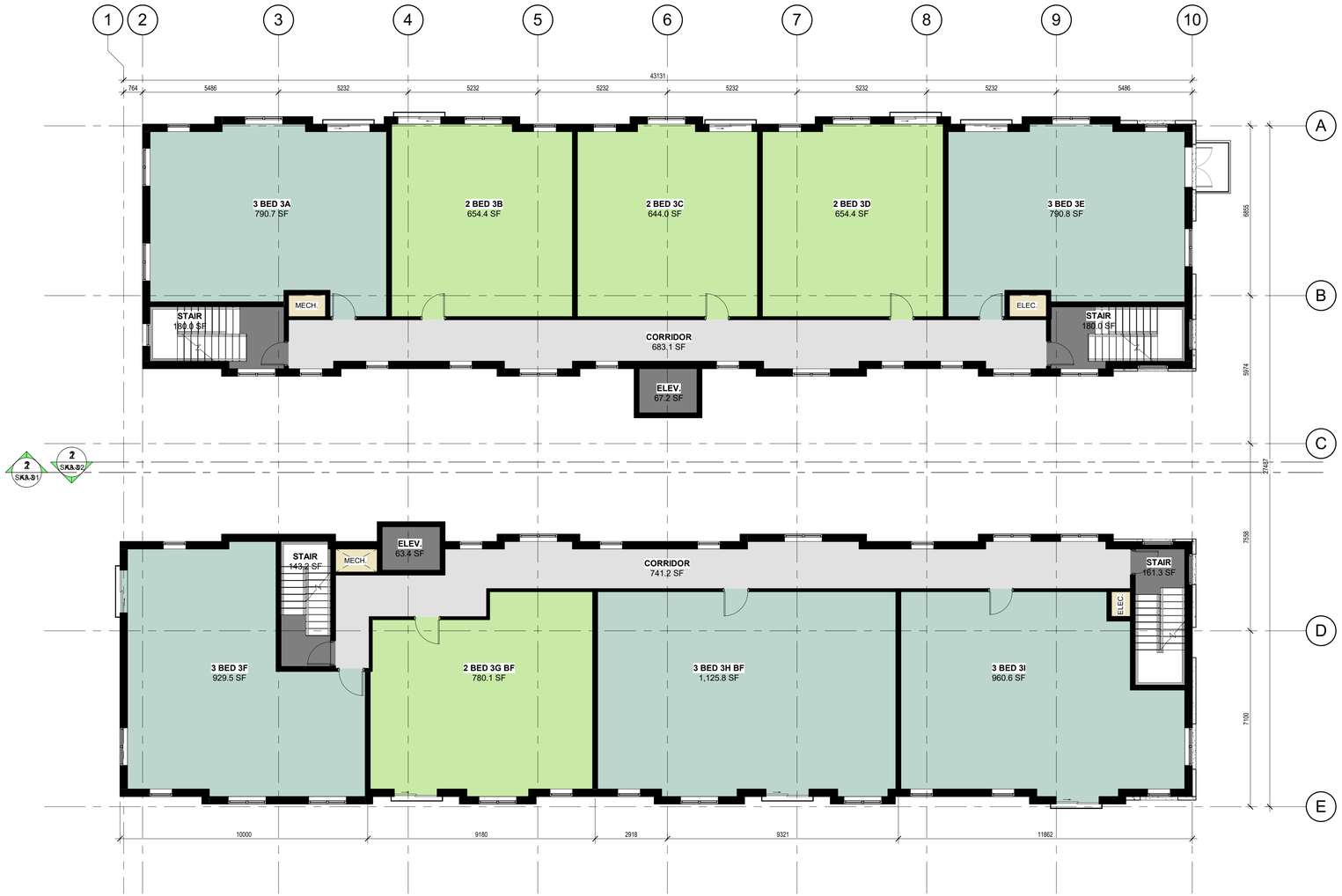
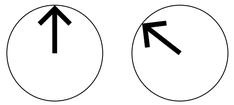
20052_16 & 18 Mill St - ZBA_detached.rvt



1 **LEVEL 3 FLOOR PLAN**
1 : 100

UNIT DATA - LEVEL 3	
LOFT STYLE UNITS (THIRD FLOOR)	
TYPE	COUNT
2 BED	4 (1 B.F. INCL.)
3 BED	5 (1 B.F. INCL.)
TOTAL	9



GENERAL NOTES

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10	2025-04-28	ISSUED FOR OPA/ZBA
9	2025-02-03	ISSUED FOR OPA/ZBA
8	2024-10-28	ISSUED FOR OPA/ZBA
7	2024-08-08	ISSUED FOR COORDINATION
6	2022-04-11	ISSUED FOR OPA/ZBA
5	2022-04-06	ISSUED FOR REZONING
4	2020-12-16	ISSUED FOR REZONING
3	2020-12-04	CONSULTANT COORDINATION
2	2020-11-19	CONSULTANT COORDINATION
1	2020-09-28	CONSULTANT COORDINATION

Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM architects+ urban*designers

Project No: 20052
Drawing Date: 09-28-2020
Drawn by: M.S
Checked by: MYV
Office Location: KITCHENER
Plot Date / Time: 2025-06-19 10:44:55 AM

Drawing Name:

LEVEL 3 FLOOR PLANS

Drawing Scale: As indicated
Status: OPA/ZBA
Revision No.: r12
Drawing No.: **A2.5**

Do not scale drawings. Contractors must check and verify all dimensions and report any discrepancies to the Architect before proceeding with the work. All documents remain the property of the Architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The Contract Documents were prepared by the Consultant for the account of the Owner.
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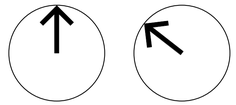
20052_16 & 18 Mill St - ZBA_detached.rvt

UNIT DATA - LEVEL 4	
LOFT STYLE UNITS (MEZZANINE)	
TYPE	COUNT
2 BED	6 (0 B.F. INCL.)
3 BED	3 (0 B.F. INCL.)
TOTAL	9

1 **LEVEL 4 FLOOR PLAN**
1 : 100



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No.	Date	Revision
12	2025-06-19	ISSUED FOR REZONING
11	2025-05-30	ISSUED FOR OPA/ZBA
10	2025-04-28	ISSUED FOR OPA/ZBA
9	2025-02-03	ISSUED FOR OPA/ZBA
8	2024-10-28	ISSUED FOR OPA/ZBA
7	2024-08-08	ISSUED FOR COORDINATION
6	2022-04-11	ISSUED FOR OPA/ZBA
5	2022-04-06	ISSUED FOR REZONING
4	2020-12-16	ISSUED FOR REZONING
3	2020-12-04	CONSULTANT COORDINATION
2	2020-11-19	CONSULTANT COORDINATION
1	2020-09-28	CONSULTANT COORDINATION

Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM architects+ urban*designers

Project No: 20052
Drawing Date: 09-28-2020
Drawn by: M.S
Checked by: MYV
Office Location: KITCHENER
Plot Date / Time: 2025-06-19 10:44:56 AM

Drawing Name:

LEVEL 4 FLOOR PLANS

Drawing Scale: As indicated
Status: OPA/ZBA
Revision No.: r12
Drawing No.: **A2.6**

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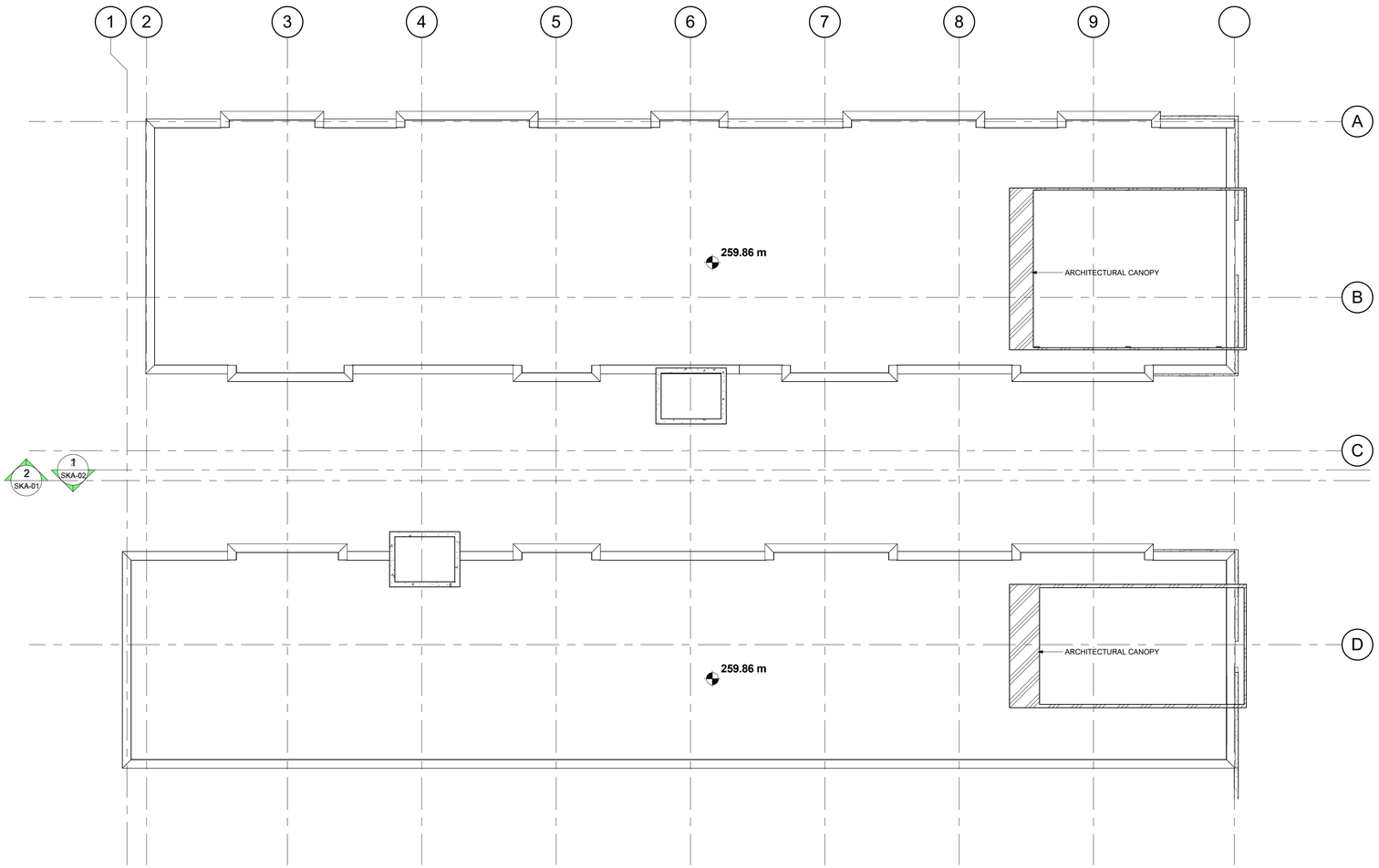
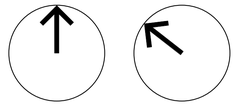
20052_16 & 18 Mill St - ZBA_detached.rvt



1 **ROOF PLAN**
1 : 100



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No.	Date	Revision
3	2025-06-19	ISSUED FOR REZONING
2	2025-05-30	ISSUED FOR OPA/ZBA
1	2025-04-28	ISSUED FOR OPA/ZBA

Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM↗ architects+ urban⋆designers

Project No: 20052
Drawing Date: 02/09/23
Drawn by: JHF
Checked by: MYV
Office Location: KITCHENER
Plot Date / Time: 2025-06-19 10:44:56 AM

Drawing Name:

ROOF PLAN

Drawing Scale: 1 : 100
Status: OPA/ZBA
Revision No.: r3
Drawing No.: **A2.7**

Do not scale drawings. Contractors must check and verify all dimensions and report any discrepancies to the Architect before proceeding with the work. All documents remain the property of the Architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The Contract Documents were prepared by the Consultant for the account of the Owner.
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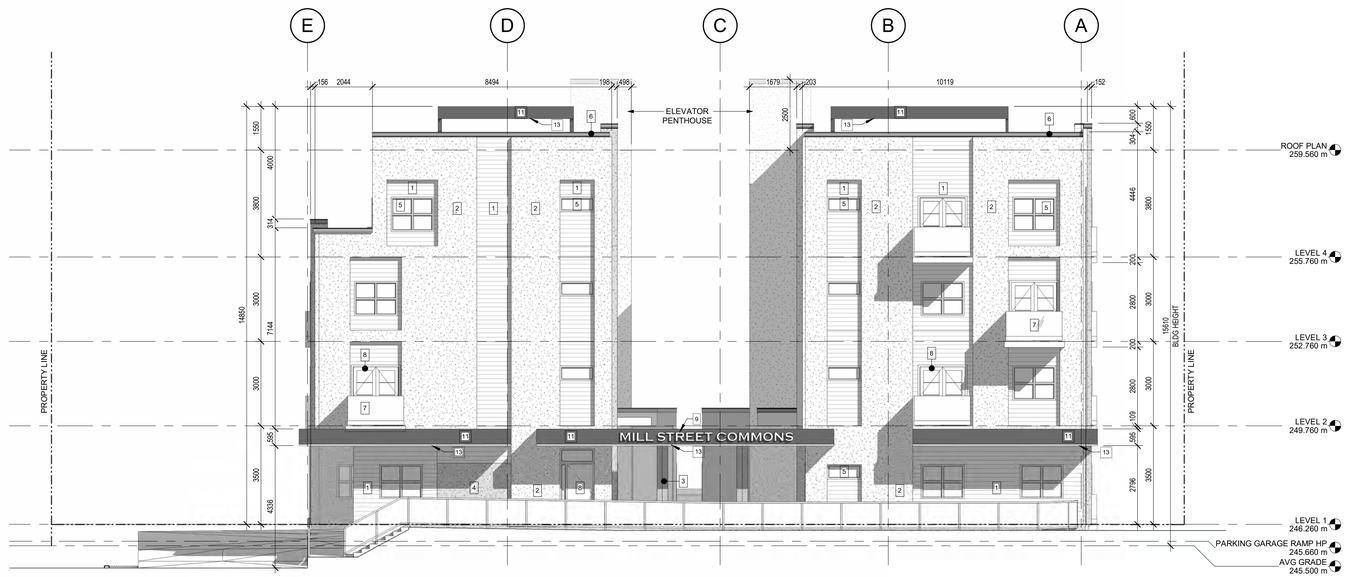
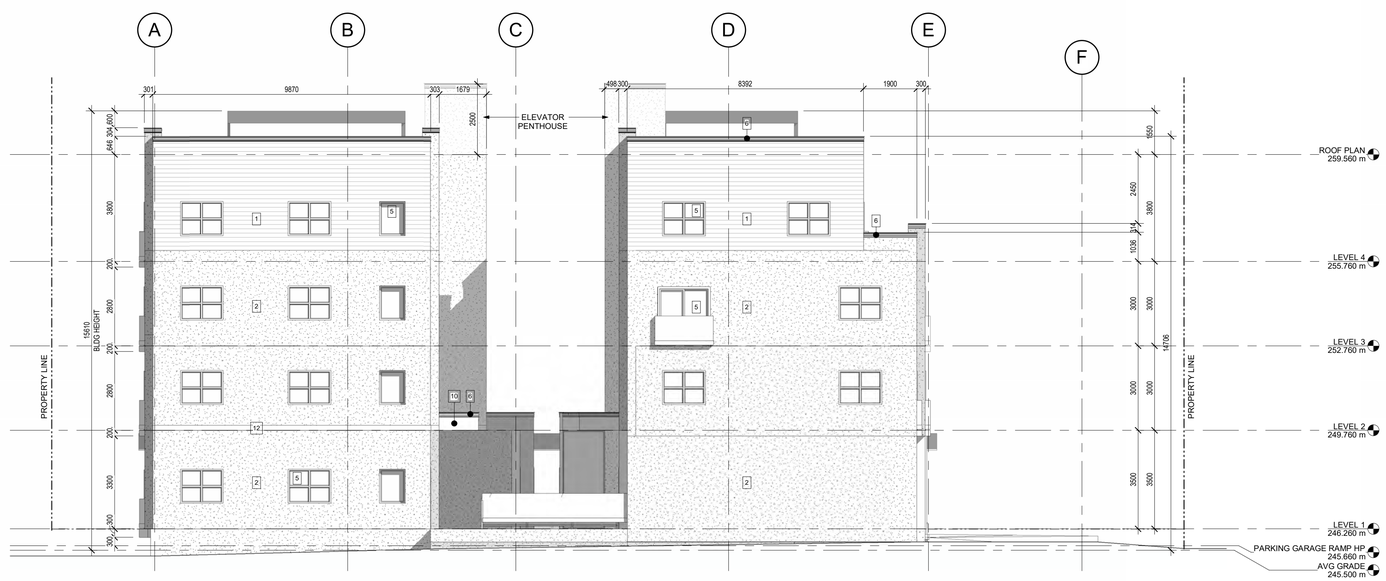
20052_16 & 18 Mill St - ZBA_detached.rvt

MATERIAL LEGEND

1. Aluminum Siding - Light Brown Wood Finish
2. Cement Board - White
3. Brick Patterned Concrete - Grey
4. Cement Board - Grey
5. Thermally Broken Anod. Alum. Window and Frame
6. Preformed Aluminum Flashing - Dark Anodized
7. Tempered Glass Guard Rail
8. Thermally Broken Anod. Alum. Door and Frame - Paint TBD
9. Backlit Metal Channel Lettering
10. Aluminum Siding - White Finish
11. Aluminum Siding - Grey Finish
12. Precast Concrete - White
13. Metal Soffit - White



1 **EAST ELEVATION (MILL ST.)**
1 : 100



2 **WEST ELEVATION**
1 : 100

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10	2025-04-28	ISSUED FOR OPA/ZBA
9	2025-02-03	ISSUED FOR OPA/ZBA
8	2024-10-28	ISSUED FOR OPA/ZBA
7	2024-08-08	ISSUED FOR COORDINATION
6	2024-03-19	ISSUED FOR OPA/ZBA
5	2022-04-11	ISSUED FOR OPA/ZBA
4	2022-04-06	ISSUED FOR REZONING
3	2020-12-16	ISSUED FOR REZONING
2	2020-11-19	CONSULTANT COORDINATION
1	2020-09-28	CONSULTANT COORDINATION

Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM architects+ urban⋆designers

Project No: 20052
Drawing Date: 09-28-2020
Drawn by: JHF
Checked by: MYV
Office Location: KITCHENER
Plot Date / Time: 2025-06-19 10:45:00 AM

Drawing Name:

EAST & WEST ELEVATIONS

Drawing Scale: As indicated
Status: OPA/ZBA
Revision No.: r12
Drawing No.: **A3.1**

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20052_16 & 18 Mill St - ZBA_detached.rvt

MATERIAL LEGEND

1. Aluminum Siding - Light Brown Wood Finish
2. Cement Board - White
3. Brick Patterned Concrete - Grey
4. Cement Board - Grey
5. Thermally Broken Anod. Alum. Window and Frame
6. Preformed Aluminum Flashing - Dark Anodized
7. Tempered Glass Guard Rail
8. Thermally Broken Anod. Alum. Door and Frame - Paint TBD
9. Backlit Metal Channel Lettering
10. Aluminum Siding - White Finish
11. Aluminum Siding - Grey Finish
12. Precast Concrete - White
13. Metal Soffit - White

2 SOUTH ELEVATION
1 : 100

1 NORTH ELEVATION
1 : 100

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9	2025-02-03	ISSUED FOR OPA/ZBA
8	2024-10-28	ISSUED FOR OPA/ZBA
7	2024-08-08	ISSUED FOR COORDINATION
6	2024-03-19	ISSUED FOR OPA/ZBA
5	2022-04-11	ISSUED FOR OPA/ZBA
4	2022-04-06	ISSUED FOR REZONING
3	2020-12-16	ISSUED FOR REZONING
2	2020-11-19	CONSULTANT COORDINATION
1	2020-09-28	CONSULTANT COORDINATION

Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM architects+ urban*designers

Project No: 20052
Drawing Date: 09/28/20
Drawn by: JHF
Checked by: MYV
Office Location: KITCHENER
Plot Date / Time: 2025-06-19 10:45:04 AM

Drawing Name:

NORTH & SOUTH ELEVATIONS

Drawing Scale: As indicated
Status: OPA/ZBA
Revision No.: r12
Drawing No.: **A3.2**

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20052_16 & 18 Mill St - ZBA_detached.rvt

MATERIAL LEGEND

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4. Cement Board - Grey
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6. Preformed Aluminum Flashing - Dark Anodized
7. Tempered Glass Guard Rail
8. Thermally Broken Anod. Alum. Door and Frame - Paint TBD
9. Backlit Metal Channel Lettering
10. Aluminum Siding - White Finish
11. Aluminum Siding - Grey Finish
12. Precast Concrete - White
13. Metal Soffit - White

1 NORTH BUILDING INTERIOR COURTYARD ELEVATION
1 : 100

2 SOUTH BUILDING INTERIOR COURTYARD ELEVATION
1 : 100

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No.	Date	Revision
6	2025-06-19	ISSUED FOR REZONING
5	2025-05-30	ISSUED FOR OPA/ZBA
4	2025-04-28	ISSUED FOR OPA/ZBA
3	2025-02-03	ISSUED FOR OPA/ZBA
2	2024-10-28	ISSUED FOR OPA/ZBA
1	2024-08-08	ISSUED FOR COORDINATION

Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM architects+ urban⋆designers

Project No: 20052
Drawing Date: 11/30/21
Drawn by: JHF
Checked by: MYV
Office Location: KITCHENER
Plot Date / Time: 2025-06-19 10:45:09 AM

Drawing Name:

INTERIOR COURTYARD ELEVATIONS

Drawing Scale: As indicated
Status: OPA/ZBA
Revision No.: r6
Drawing No.: **A3.3**

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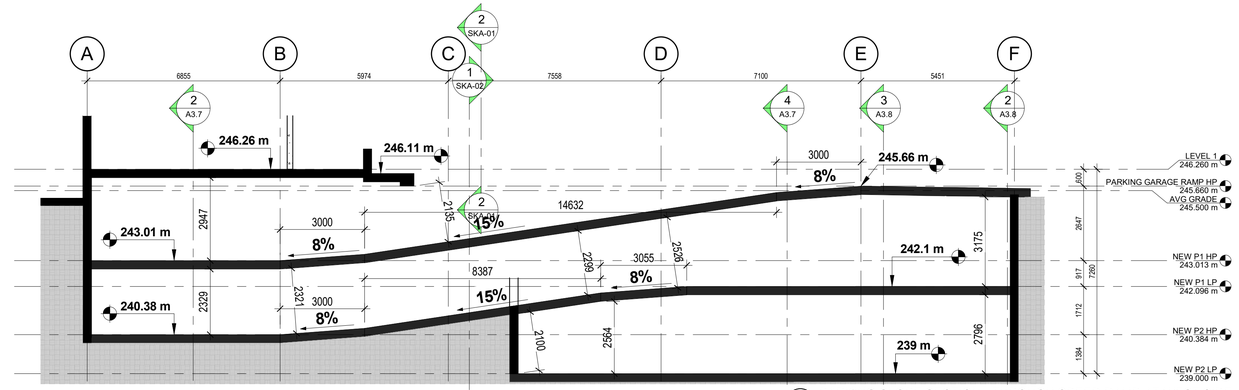
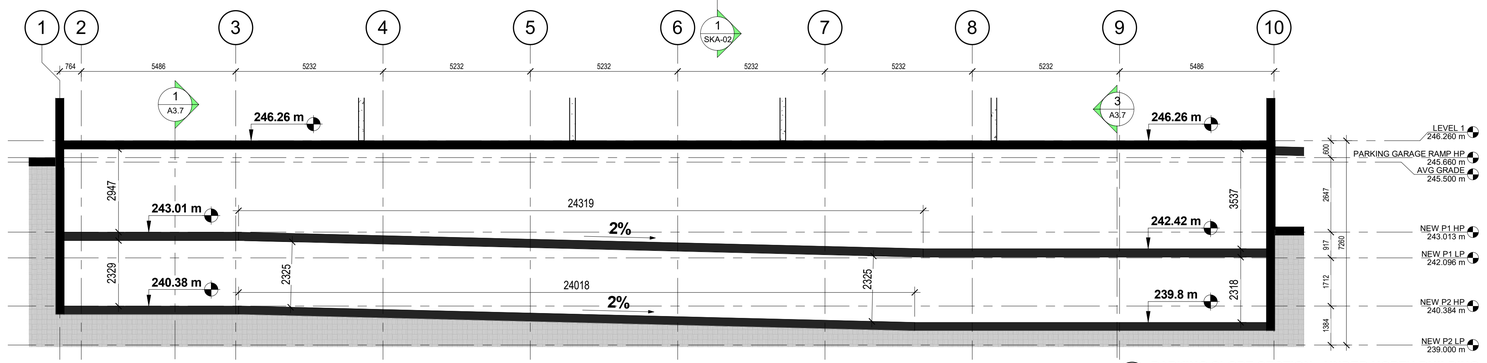
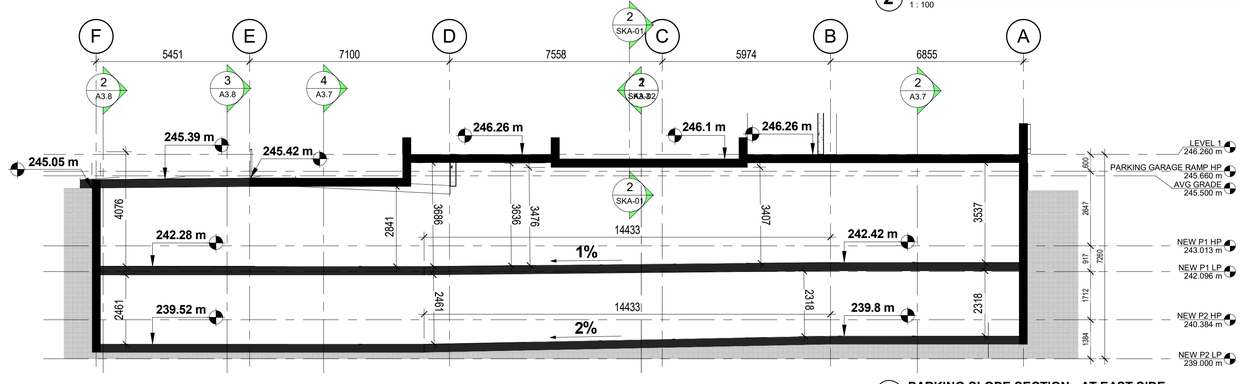
20052_16 & 18 Mill St - ZBA_detached.rvt



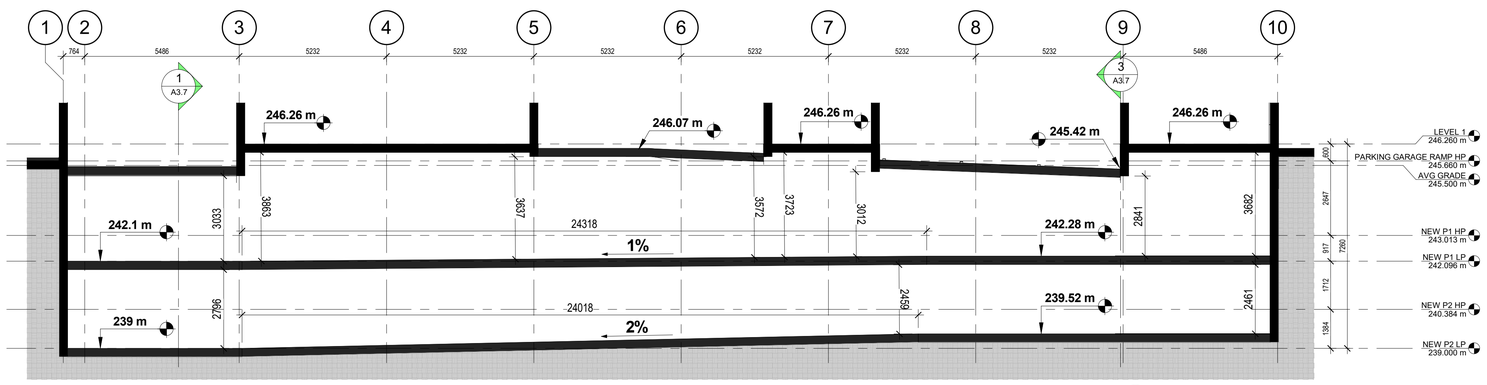
1 PARKING SLOPE SECTION - THROUGH SPEED RAMP AT WEST SIDE
1 : 100



2 PARKING SLOPE SECTION - UNDER NORTH BUILDING
1 : 100



3 PARKING SLOPE SECTION - AT EAST SIDE
1 : 100



4 PARKING SLOPE SECTION - UNDER SOUTH BUILDING
1 : 100

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No.	Date	Revision
9	2025-06-19	ISSUED FOR REZONING
8	2025-05-30	ISSUED FOR OPA/ZBA
7	2025-04-28	ISSUED FOR OPA/ZBA
6	2025-02-26	RAMP CLARIFICATION
5	2025-02-03	ISSUED FOR OPA/ZBA
4	2025-01-22	FOR REVIEW / COORDINATION
3	2024-10-28	ISSUED FOR OPA/ZBA
2	2024-08-08	ISSUED FOR COORDINATION
1	2024-03-19	ISSUED FOR OPA/ZBA

Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM architects+ urban⋆designers

Project No: 20052
Drawing Date: 02/09/23
Drawn by: JHF
Checked by: MYV
Office Location: KITCHENER
Plot Date / Time: 2025-06-19 10:45:10 AM

Drawing Name:

UNDERGROUND PARKING SLOPE ANALYSIS

Drawing Scale: 1 : 100
Status: OPA/ZBA
Revision No.: r9
Drawing No.: **A3.7**

Do not scale drawings. Contractors must check and verify all dimensions and report any discrepancies to the Architect before proceeding with the work. All documents remain the property of the Architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The Contract Documents were prepared by the Consultant for the account of the Owner.
The material contained herein reflects the Consultants best judgement in light of the information available to him at the time of preparation Any use which a third party makes of the Contract Documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties. The Consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this Contract Documents.
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2 NORTH BUILDING INTERIOR COURTYARD ELEVATION - UNPROTECTED OPENINGS
1 : 100

1 NORTH ELEVATION - UNPROTECTED OPENINGS
1 : 100

GENERAL NOTES

1. **Do not scale drawings.** Written dimensions shall have precedence over scaled dimensions.
2. All work shall comply with the 2012 Ontario Building Code and amendments.
3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
5. All documents remain the property of the architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
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7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

No.	Date	Revision
3	2025-06-19	ISSUED FOR REZONING
2	2025-05-30	ISSUED FOR OPA/ZBA
1	2025-04-28	ISSUED FOR OPA/ZBA

Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM architects+ urban⋆designers

Project No: 20052
Drawing Date: 01/28/22
Drawn by: JHF
Checked by: MYV
Office Location: KITCHENER
Plot Date / Time: 2025-06-19 10:45:30 AM

Drawing Name:

OBC COMPLIANCE

Drawing Scale: 1 : 100
Status: OPA/ZBA
Revision No.: r3
Drawing No.: **SKA-01**

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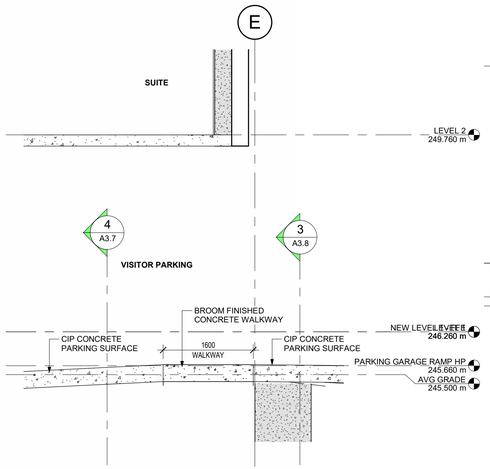
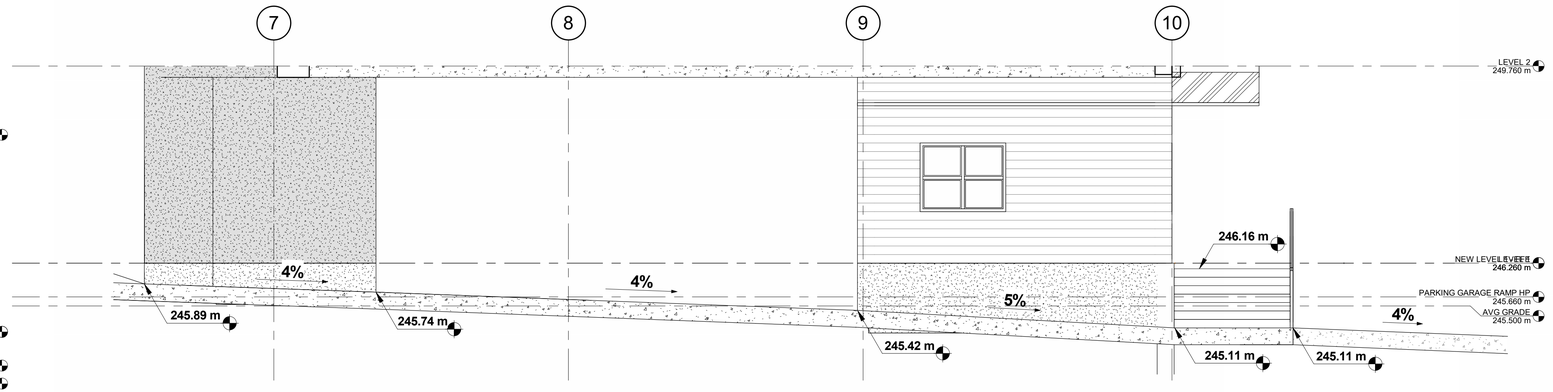
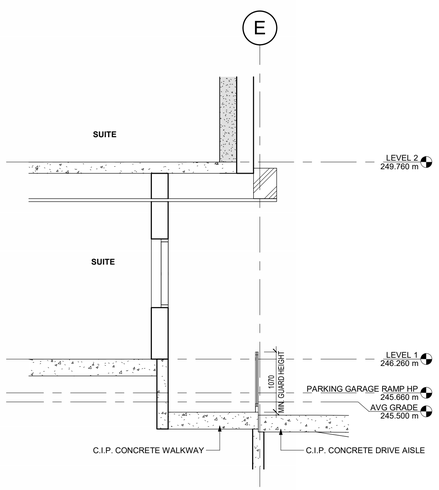


4 SLOPED SIDEWALK SECTION N/S - 2
1 : 50



3 SLOPED SIDEWALK SECTION E/W
1 : 50



2 SLOPED SIDEWALK SECTION N/S - 1
1 : 50

1 SOUTH BUILDING INTERIOR COURTYARD ELEVATION - UNPROTECTED OPENINGS
1 : 100

GENERAL NOTES

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No.	Date	Revision
3	2025-06-19	ISSUED FOR REZONING
2	2025-05-30	ISSUED FOR OPA/ZBA
1	2025-04-28	ISSUED FOR OPA/ZBA

Client:

Project Name / Address:

16 & 18 MILL STREET, GEORGETOWN DEVELOPMENT

SRM architects+ urban⋆designers

Project No: 20052
Drawing Date: 05/23/24
Drawn by: JHF
Checked by: MYV
Office Location: KITCHENER
Plot Date / Time: 2025-06-19 10:45:37 AM

Drawing Name:

OBC COMPLIANCE

Drawing Scale: As indicated
Status: OPA/ZBA
Revision No.: r3
Drawing No.: **SKA-02**

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