

DRAFT ZONING BY-LAW AMENDMENT

BY-LAW NO. 2017- _____

Being A By-law to Amend Zoning By-law 2010-0050, as amended, of the Town of Halton Hills, Part of Park Lot 3 and Ann Street Cavanagh's Unregistered Plan and Part of the East Half of Lot 20 Concession 9 shown as Parts 1 to 7, 20R18596 (formerly Village of Glen Williams), Town of Halton Hills, Regional Municipality of Halton

WHEREAS Council is empowered to enact this By-law by virtue of the provisions of Section 34 of the Planning Act, R.S.O.1990, as amended;

AND WHEREAS on _____, 2017, Council for the Town of Halton Hills approved Report No. PI 2017-0012, dated January 16, 2017 in which certain recommendations were made relating to amending Zoning By-law 2010-0050;

AND WHEREAS Council has recommended that Zoning By-law 2010-0050 be amended as hereinafter set out;

AND WHEREAS said recommendation conforms to the Official Plan for the Town of Halton Hills;

NOW, THEREFORE, THE COUNCIL OF THE CORPORATION OF THE TOWN OF HALTON HILLS ENACTS AS FOLLOWS:

1. That Schedule "A19" of Zoning By-law 2010-0050, as amended, is hereby further amended by rezoning the lands described as Part of Park Lot 3 and Ann Street Cavanagh's Unregistered Plan and Part of the East Half of Lot 20 Concession 9 shown as Parts 1 to 7, 20R18596, (formerly Village of Glen Williams), Town of Halton Hills, Regional Municipality of Halton as shown on Schedule "B" attached to and forming part of this By-law;

From an Development (D) Zone;

To a Hamlet Residential 1 (HR1) Exception Zone, Environmental Protection One (EP1) Zone, Open Space Three (OS3); and

From a Hamlet Residential 2 (HR2) Zone

To an Open Space 1 (OS1) Zone

2. That Table 13.1: Exceptions of Zoning By-law 2010-0050 is hereby amended by adding the Exception Provision contained in Schedule "A" attached to and forming part of this By-law.

BY-LAW read and passed by the Council for the Town of Halton Hills this ____ day of _____, 2015.

Mayor

Clerk

SCHEDULE A to By-law 2017 XXXX - DRAFT ZONING BY-LAW

Exceptions

| 1 | 2 | 3 | 4 | 5 | 6 | 7 |
|------------------|------|--|---------------------------|---------------------|-----------------|--|
| Exception Number | Zone | Municipal Address | Additional Permitted Uses | Only Permitted Uses | Uses Prohibited | Special Provisions |
| XX 2017-XXXX | HR1 | Part of Park Lot 3 and Ann Street Cavanagh's Unregistered Plan and Part of the East Half of Lot 20 Concession 9 shown as Parts 1 to 7, 20R18596 | | | | <ul style="list-style-type: none"> i) Minimum lot frontage – 21 metres ii) Minimum lot area - 1000 sq metres iii) Maximum number of lots – 31 iv) Maximum lot coverage - 350 square metres v) Setbacks <ul style="list-style-type: none"> a. Minimum front yard setback – 4.5 metres b. Maximum front yard setback - 10 metres c. No more than two consecutive houses shall be sited at the same distance from the front property line after which subsequent houses shall be sited at a minimum variation of 2.0 m d. Minimum of 8 houses fronting onto Street A (Draft Plan 24T-08001H) shall be sited at the minimum front yard setback of 4.5 m vi) Minimum required rear yard measured from the rear property line or EP1 Zone per Schedule B - 10 metres vii) Maximum height – 2 Storeys and 11 metres viii) Decks less than 0.6 m above the grade adjacent to the deck <ul style="list-style-type: none"> a. No closer than 3 m from measured from the rear property line or EP1 Zone per Schedule B ix) Main wall means any exterior wall of a building or structure x) Decks 0.6 m or more above the grade adjacent to the deck <ul style="list-style-type: none"> a. Shall not be permitted above the first floor b. Shall not project more than 2 metres from the furthest rear or side main wall relative to the |

- adjacent yard
- xi) *Balconies*
 - a. Shall not be permitted above the first floor
 - b. Shall not project more than 2 metres from the furthest rear or side main wall relative to the adjacent yard.
 - xii) *Garages*
 - a. The wall of the private garage, the entrance of which faces the lot line the driveway crosses to access the private garage, is to be recessed a minimum of 1.0 m from the face of the house and shall be no closer than 5.5 metres from the front lot line.
 - b. The interior dimensions of the garage fronting the street shall not exceed 50% of the exterior width of the house
 - c. No more than eight 3 car garages fronting onto Street A (Draft Plan 24T-08001H) shall be front facing garages.

The following additional provisions apply to lands zoned HR1 (XX-A)(H1) described as Lot 8 on Schedule C Plan 24T-08001/H and Appendix X of OMB Order No. XXXX, <DATE>

- i) Minimum lot frontage - 10 metres
- ii) Minimum front yard setback - 45 metres

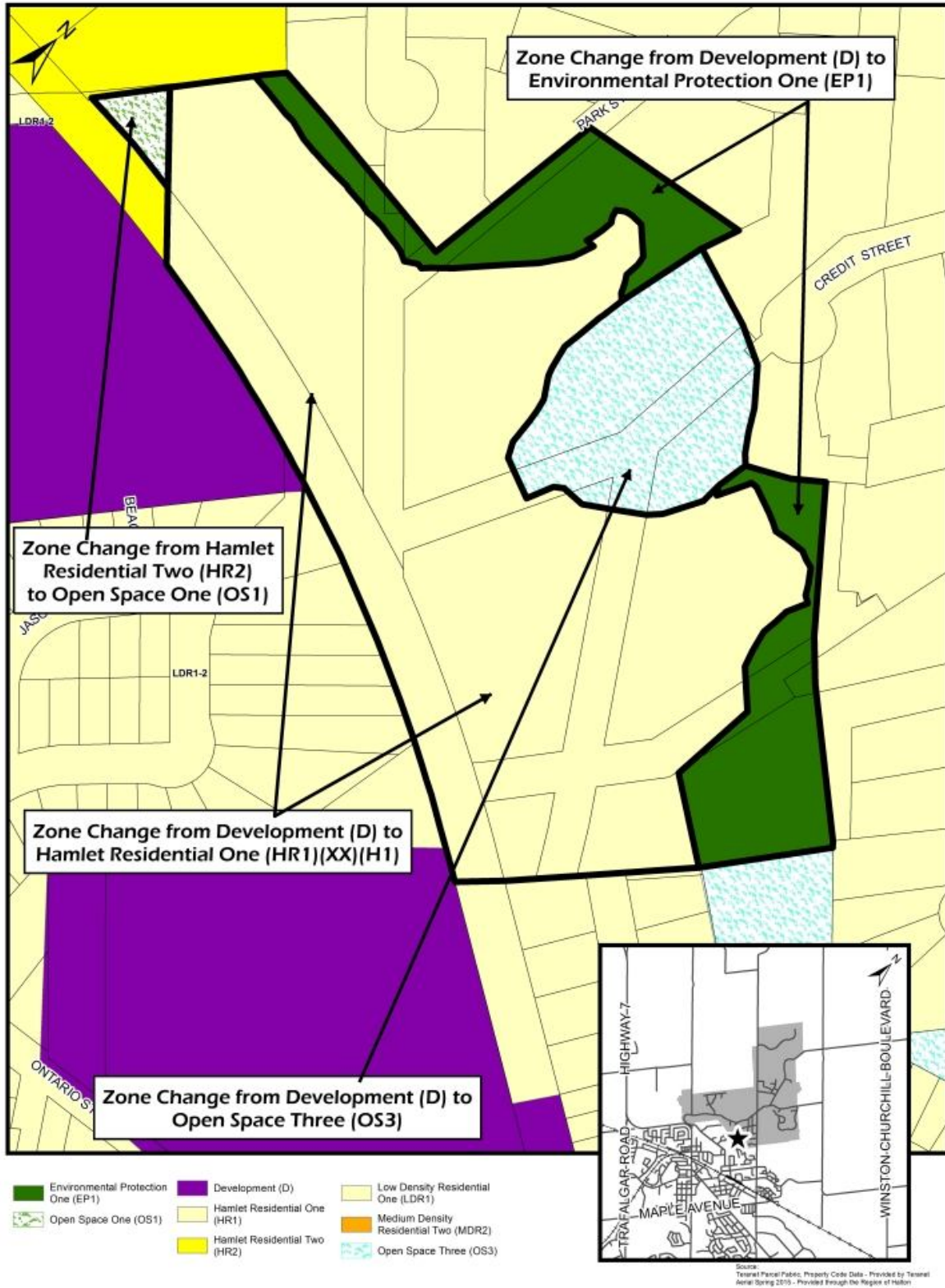
The following additional provisions apply to lands zoned HR1 (XX-B)(H1) described as Lot 9 on Schedule C Plan 24T-08001/H and Appendix X of OMB Order No. XXXX, <DATE>

- i) Minimum lot frontage- 10 metres
- ii) Minimum front yard setback – 80 metres

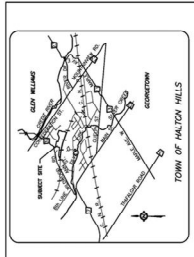
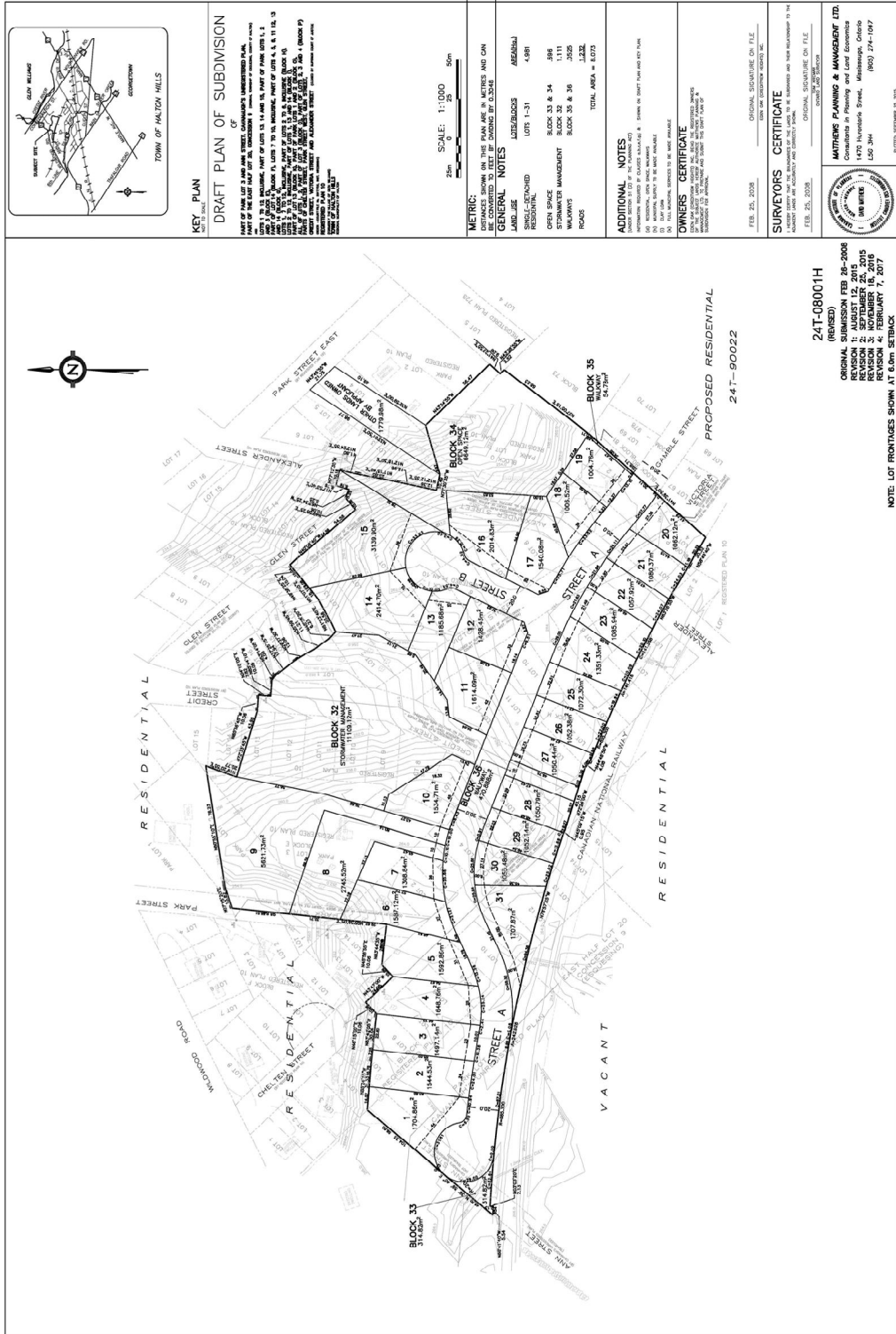
The following additional provisions apply to lands zoned HR1 (XX-C)(H1) described as Lot 14 on Schedule C Plan 24T-08001/H and Appendix X of OMB

| | | | | | |
|--|--|--|--|--|--|
| | | | | | <p>Order No. XXXX, <DATE>*</p> <ul style="list-style-type: none"> i) Minimum front yard setback – 4.5 metres ii) Maximum front yard setback – 6.5 metres <p>The following additional provisions apply to lands zoned HR1 (XX-D) (H1) described as Lot 15 on Schedule C Plan 24T-08001/H and Appendix X of OMB Order No. XXXX, <DATE>*</p> <ul style="list-style-type: none"> i) Minimum front yard setback – 4.5 metres ii) Maximum front yard setback – 6.5 metres <p>The following additional provisions apply to lands zoned HR1 (XX-E) (H1) described as Lot 16 on Schedule C Plan 24T-08001/H and Appendix X of OMB Order No. XXXX, <DATE>*</p> <ul style="list-style-type: none"> i) Minimum front yard setback – 4.5 metres ii) Maximum front yard setback – 6.5 metres <p>The following additional provisions apply to lands zoned HR1 (XX-C)(H1) described as Lot 31 on Schedule C and Appendix X of OMB Order No. XXXX, <DATE>*</p> <ul style="list-style-type: none"> i) The rear lot line shall be defined as that lot line extending west from the adjacent rear lot line of Lot 30 to the point where that line terminates at Street A. |
|--|--|--|--|--|--|

SCHEDULE B to By-law 2017- _____



Schedule C to By-law 2017-



KEY PLAN
DRAFT PLAN OF SUBDIVISION
 PART OF LOTS 2 AND 3 AND PART OF STREET COMMUNICATED UNDER THE CONVEYANCE ACT, 1998, AND PART OF LOTS 1 AND 2, BLOCK 33, AND PART OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 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795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

METRIC:
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONSIDERED AS APPROXIMATE.
 SCALE: 1:1000

| LAND USE | LOTS | AREAS (sqm) |
|-------------------|----------------|---------------|
| RESIDENTIAL | LOTS 1-31 | 4,881 |
| RESIDENTIAL | BLOCKS 33 & 34 | 587 |
| RESIDENTIAL | BLOCK 35 | 1,111 |
| RESIDENTIAL | BLOCKS 35 & 36 | 3,525 |
| ROADS | | 1,132 |
| TOTAL AREA | | 11,076 |

ADDITIONAL NOTES:
 1. THE SUBDIVISION IS SHOWN IN SHARP PINK AND RED TONING.
 2. THE SUBDIVISION IS SHOWN IN SHARP PINK AND RED TONING.
 3. THE SUBDIVISION IS SHOWN IN SHARP PINK AND RED TONING.
 4. THE SUBDIVISION IS SHOWN IN SHARP PINK AND RED TONING.
 5. THE SUBDIVISION IS SHOWN IN SHARP PINK AND RED TONING.

OWNERS CERTIFICATE:
 I, the undersigned, being the owner of the land described in this plan, do hereby certify that the information contained herein is true and correct to the best of my knowledge and belief.

SURVEYORS CERTIFICATE:
 I, the undersigned, being a duly qualified and licensed surveyor, do hereby certify that the information contained herein is true and correct to the best of my knowledge and belief.

24T-08001H
 ORIGINAL SUBMISSION FEB 26-2008
 REVISION 1: AUGUST 12, 2015
 REVISION 2: NOVEMBER 18, 2015
 REVISION 3: FEBRUARY 7, 2017
 REVISION 4: FEBRUARY 7, 2017

NOTE: LOT FRONTS SHOWN AT 6.0m SETBACK

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