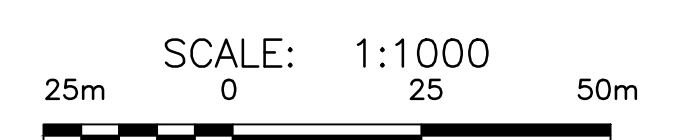


**KEY PLAN**  
NOT TO SCALE

**DRAFT PLAN OF SUBDIVISION**  
OF

**PART OF PARK LOT 3 AND ANN STREET, CAVANAUGH'S UNREGISTERED PLAN, PART OF THE EAST HALF LOT 20, CONCESSION 9 (ORIGINAL TOWNSHIP OF EGRESS, COUNTY OF HALTON) AND LOTS 1 TO 12, INCLUSIVE, PART OF LOTS 13, 14 AND 15, PART OF PARK LOTS 1, 2 AND 3 (BLOCK E), PART OF LOT 14 (BLOCK F), LOTS 7 TO 10, INCLUSIVE, PART OF LOTS 4, 5, 6, 11 12, 13 AND 14 (BLOCK G), LOTS 1, 7 TO 12, INCLUSIVE, PART OF LOTS 2 TO 6, INCLUSIVE (BLOCK H), LOTS 2 TO 12, INCLUSIVE, PART OF LOTS 1, 13 AND 14 (BLOCK I), PART OF LOT 13 (BLOCK K), PART OF PARK LOTS 1 AND 2 (BLOCK O), ALL OF LOTS 1, 2, PART OF LOT 3 (BLOCK Q), PART OF LOTS 2, 3 AND 4 (BLOCK P) PARTS OF CHELTEN STREET, PARK STREET WEST, GLEN STREET, CREDIT STREET, VICTORIA STREET AND ALEXANDER STREET (CLOSED BY SUPERIOR COURT OF JUSTICE REGISTERED PLAN 10 (FORMERLY THE VILLAGE OF GLEN WILLIAMS) TOWN OF HALTON HILLS REGIONAL MUNICIPALITY OF HALTON**



**METRIC:**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**GENERAL NOTES**

LAND USE	LOTS/BLOCKS	AREA(Ha.)
SINGLE-DETACHED RESIDENTIAL	LOTS 1-31	4.981
OPEN SPACE	BLOCK 33 & 34	.696
STORMWATER MANAGEMENT	BLOCK 32	1.111
WALKWAYS	BLOCK 35 & 36	.0525
ROADS		1.232
	<b>TOTAL AREA =</b>	<b>8.073</b>

**ADDITIONAL NOTES**

(UNDER SECTION 51 (2) OF THE PLANNING ACT)  
INFORMATION REQUIRED BY CLAUSES a,b,c,f,g,j & 1 SHOWN ON DRAFT PLAN AND KEY PLAN.  
(d) RESIDENTIAL, OPEN SPACE, WALKWAYS  
(h) MUNICIPAL SUPPLY TO BE MADE AVAILABLE  
(i) CLAY LOAM  
(j) FULL MUNICIPAL SERVICES TO BE MADE AVAILABLE

**OWNERS CERTIFICATE**

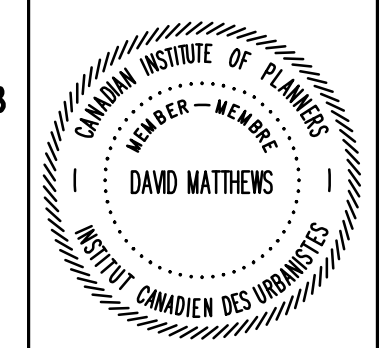
EDEN OAK (CREDITVIEW HEIGHTS) INC. BEING THE REGISTERED OWNERS OF THE SUBJECT LANDS HEREBY AUTHORIZING MATTHEWS PLANNING & MANAGEMENT LTD. TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION FOR APPROVAL.

FEB. 25, 2008 ORIGINAL SIGNATURE ON FILE  
EDEN OAK (CREDITVIEW HEIGHTS) INC.

**SURVEYORS CERTIFICATE**

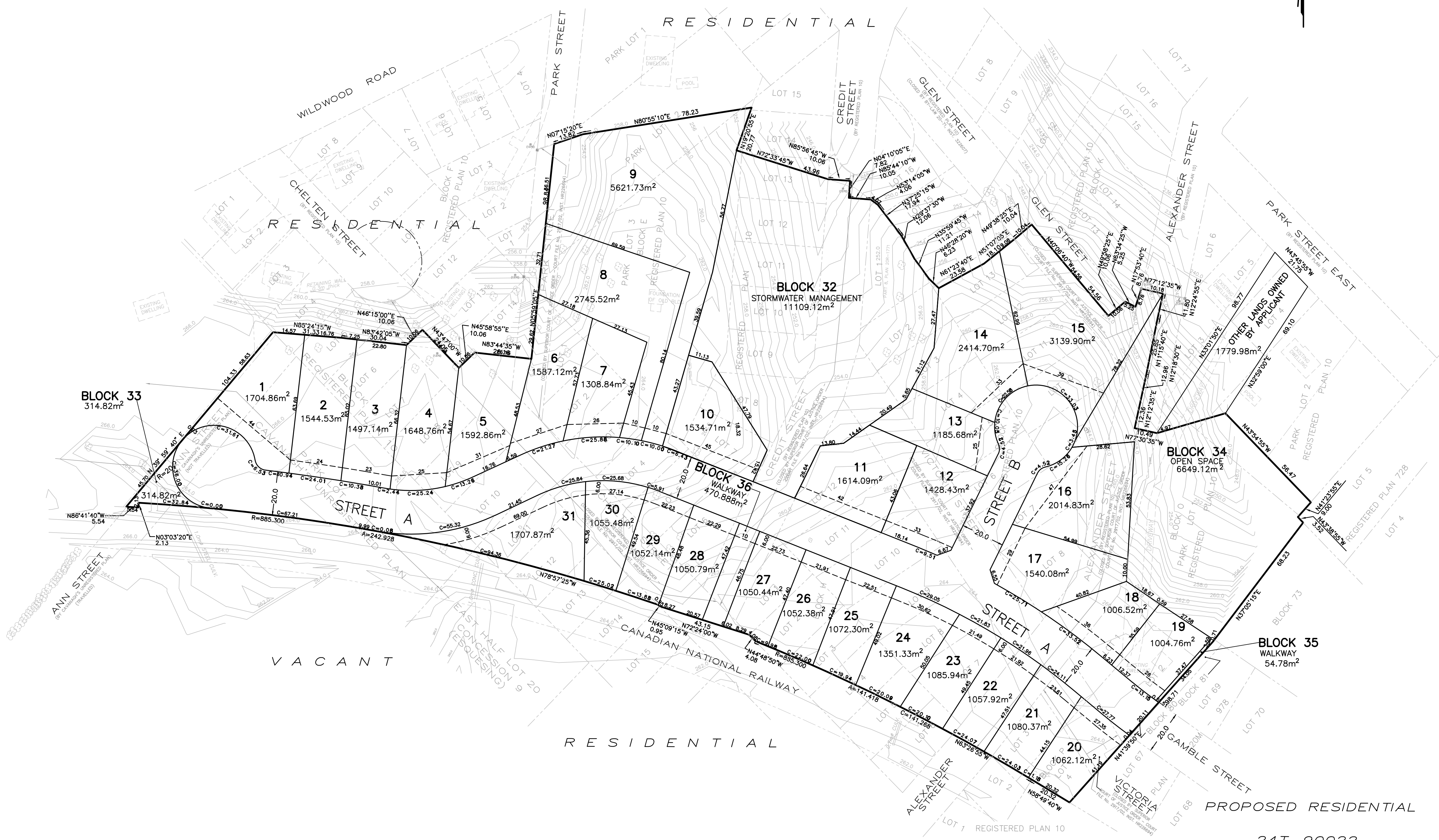
I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AND THEIR RELATIONSHIP TO THE ADJACENT LANDS ARE ACCURATELY AND CORRECTLY SHOWN.

FEB. 25, 2008 ORIGINAL SIGNATURE ON FILE  
DAVID MATTHEWS  
ONTARIO LAND SURVEYOR



**MATTHEWS PLANNING & MANAGEMENT LTD.**  
Consultants in Planning and Land Economics  
1470 Hurontario Street, Mississauga, Ontario  
L5G 3H4 (905) 274-1047

PLOTTED: SEPTEMBER 25, 2015



24T-90022

24T-08001H  
(REVISED)

ORIGINAL SUBMISSION FEB 26-2008  
REVISION 1: AUGUST 12, 2015  
REVISION 2: SEPTEMBER 25, 2015  
REVISION 3: NOVEMBER 18, 2016  
REVISION 4: FEBRUARY 7, 2017

NOTE: LOT FRONTAGES SHOWN AT 6.0m SETBACK